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Security and CPTED Report

Project Reference: 896 Woodville Road, Villawood

Project Address:	896 Woodville Rd, Villawood, NSW 2163
Prepared for:	ABA Pty Ltd
Report Ref:	390910-896-Woodville-Rd-CPTED-Report-RevA
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Report Reading Guide

The scope of this CPTED review is to document the crime statistics pertinent to the proposed development at 896 Woodville Rd, Villawood, analyse these statistics to identify areas of concern and conduct a CPTED review based on site architectural drawings.

EXECUTIVE SUMMARY

1.0 INTRODUCTION

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4.0 CONDUCT OF THE REVIEW

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8.0 CRIME MAPS AND ANALYSIS

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Annex A CPTED MARK-UP OF ARCHITECTURAL PLANS

Annex B NSW POLICE CPTED CHECKLIST

The project stakeholders will have varying degrees of involvement in the crime prevention design and implementation process with an interest in different sections. It is recommended that each stakeholder read the entire document, paying particular attention to the sections indicated in Table A.

Table A – Recommended reading guide table for project stakeholders

Stakeholder	Executive Summary	1	2	3	4	5	6	7	8	9	10	11	Annex A	Annex B
Client	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Architect	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Project Manager	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

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Executive Summary

A Crime Prevention Through Environmental Design (CPTED) review was undertaken for the proposed Mixed-use Local Centre, which is located on 896 Woodville Rd, Villawood. This review incorporated Australian and international standards, as well as the Safer by Design guidelines developed by the NSW Police. Additionally, key documents such as Fairfield City Wide Development Control Plan 2024 were considered in the development of Lote's CPTED strategy. Adherence to the control measures and recommendations in these documents can help bolster the security posture of this development. The security recommendations contained within this report are marked to the attention of the project design teams and subsequently the operations teams to serve as an ongoing basis to mitigate risks to security.

Lote Consulting has conducted a review of 60-months of crime statical data for the Fairfield City Council LGA, showing some trends warranting attention –including increased prohibited and regulated weapons offences, domestic violence related assault and intimidation, stalking and harassment. This report will highlight the relevant crime categories pertaining to the development in Section 6.1.

A more focused analysis was carried out of the crime statistics for the suburb of Villawood where the site is located, with some categories of crime rates increasing over the last 24 months. The crime rate in Villawood is generally higher than the rates for Fairfield City Council LGA and the average crime rates for NSW. A crime hotspot analysis was carried out to determine the proximity of the site to crime hotspots and the crime category of malicious damage to property, drug offences and non-domestic related assault were flagged for risk mitigation treatments that have been recommended in the mark-up of the architectural plans. Additionally, the site architectural plans were reviewed and assessed against CPTED criteria. It is recommended that these risk treatments are implemented during the construction stage through security design development and subsequently the development of a Total Security Management Plan for the ongoing management of security outcomes.

1.0 Introduction

Lote Consulting Pty Ltd was engaged to conduct a Crime Prevention Through Environmental Design (CPTED) assessment of the 896 Woodville Road, Villawood. This is in response to the requirements of the Fairfield City Wide Development Control Plan 2024 for CPTED integration. Additionally, this report will reference the NSW Police's *Safer by Design* methodology. This report seeks to utilise the statistical crime context in conjunction with an evaluation of the site architectural plans to conduct a comprehensive CPTED analysis - using the Safer by Design methodology and CPTED principles.

2.0 Disclaimer and Limitations

Nothing contained in this report is intended to be, and nor should it be construed as, the provision of legal advice. The opinions and recommendations contained herein are based on information provided to the reviewer by the architect and other sources during the review. All reasonable attempts have been made to confirm and verify the information thus provided within the time frame allowed for the review. This report has been prepared based on the instructions of the party to whom it is addressed and may not be suitable for other purposes.

3.0 Methodology

This report has been prepared in accordance with ISO 22341:2021 – Security and Resilience – Protective Security – Guidelines for Crime Prevention through Environmental Design. It has also been prepared in consideration of the NSW Department of Urban Affairs and Planning publication: 'Crime prevention and the assessment of development applications – Guidelines under Section 4.15 of the Environmental Planning and Assessment Act 1979', 2001.

The Fairfield City Wide Development Control Plan 2024 is also a core document for the development of this report.

3.1 Reference Documents

- Fairfield City Wide Development Control Plan 2024
- Villawood Town Centre Development Control Plan 2020
- ISO 22341:2021 – Security and Resilience
- AS/NZS 4282:2019 – Outdoor Lighting Obtrusive Effects
- AS/NZS 1428:2021 – Design for Access and Mobility
- AS/NZS 2208:1996 – Buildings Safety Glazing Materials
- AS/NZS 62676.1.1:2020 – Set Video Surveillance Systems
- AS/NZS 2201.1:2007 – Set Alarm and Electronic Security Systems
- AS/NZS 1680.0-2009 – Interior Lighting – Safe Movement

4.0 Conduct of the Review

The review will involve the following steps:

1) Review and security mark-up of architectural drawings dated October 2024.

2) Crime statistical and 60-month trends analysis.
3) Completion of the NSW Police CPTED checklist.
4) Assessment of the plans against CPTED criteria.
5) Preparation of the draft report.
6) Review of report and final release.

5.0 Project Appreciation

5.1 Building Description

We understand the project involves the development of 896 Woodville Road Villawood, for ABA Pty Ltd. The proposal includes a Mixed-Use Building with 148 units along with ground floor retail spaces as well as residential and commercial parking spaces as shown in Figure 5-1.

Figure 5-1 – Proposed development.

5.2 Location

The site is shown by the aerial view in Figure 5-2. The development is a C shaped building with its south-east side having the longest frontage facing Woodville Road sharing common boundaries with the adjacent fuel station.

Figure 5-2 – Aerial view of Proposed Development (Courtesy of Six Maps)

5.3 Proximity to Emergency Services

896 Woodville Road, Villawood is near a range of emergency services. This ensures a rapid response in case of any emergencies, as tabulated in Table 5-1.

Table 5-1 Distance to Emergency Services

Emergency Services	Distance	Figure
Liverpool Hospital	8.1 km or approximately a 14-minute drive	Figure 5-3
NSW Ambulance Station, **Fairfield**	2.0 km or approximately a 4-minute drive	Figure 5-4.
Fairfield Police Station	3.7 km or approximately a 7-minute drive	Figure 5-5
Rural Fire Brigade, **Chester Hill**	2.2 km or approximately a 4-minute drive	Figure 5-6

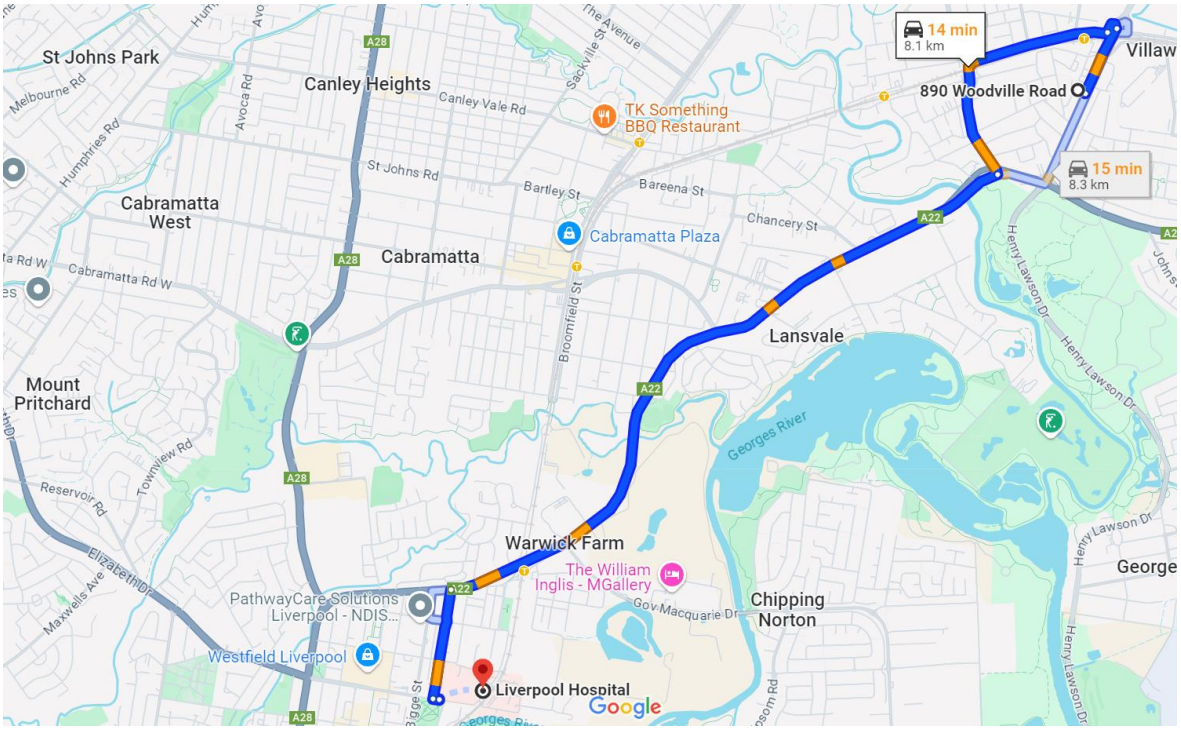

Figure 5-3 Proximity to Liverpool Hospital and Approximate Drive Time (courtesy of Google Maps).

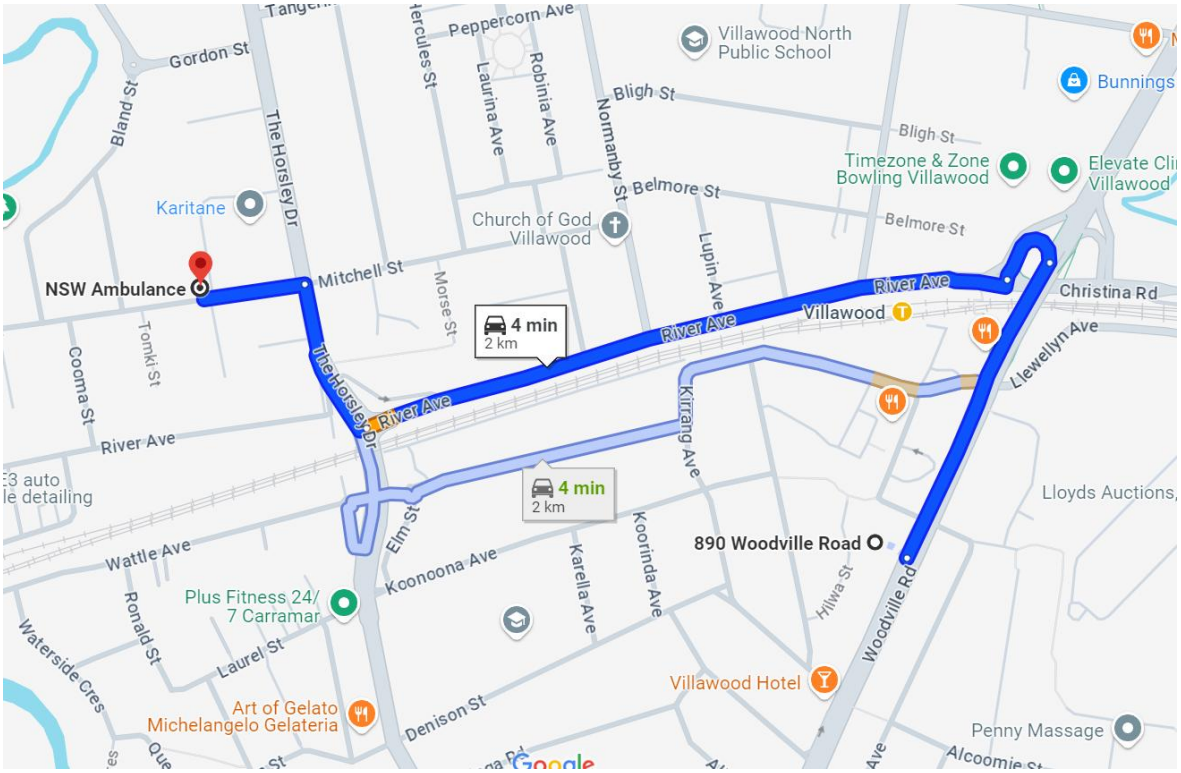

Figure 5-4 Proximity to NSW Ambulance Station Fairfield and Approximate Drive Time (courtesy of Google Maps).

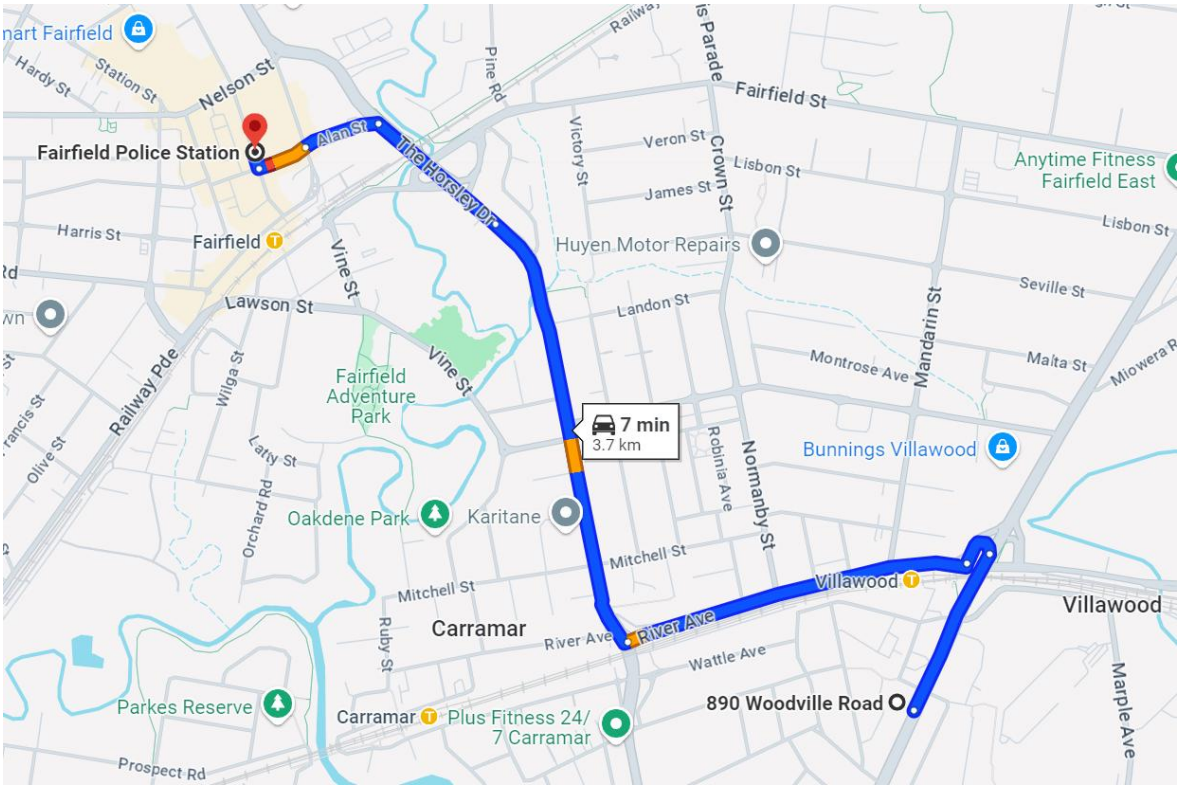

Figure 5-5 Proximity to Fairfield Police Station and Approximate Drive Time (courtesy of Google Maps)

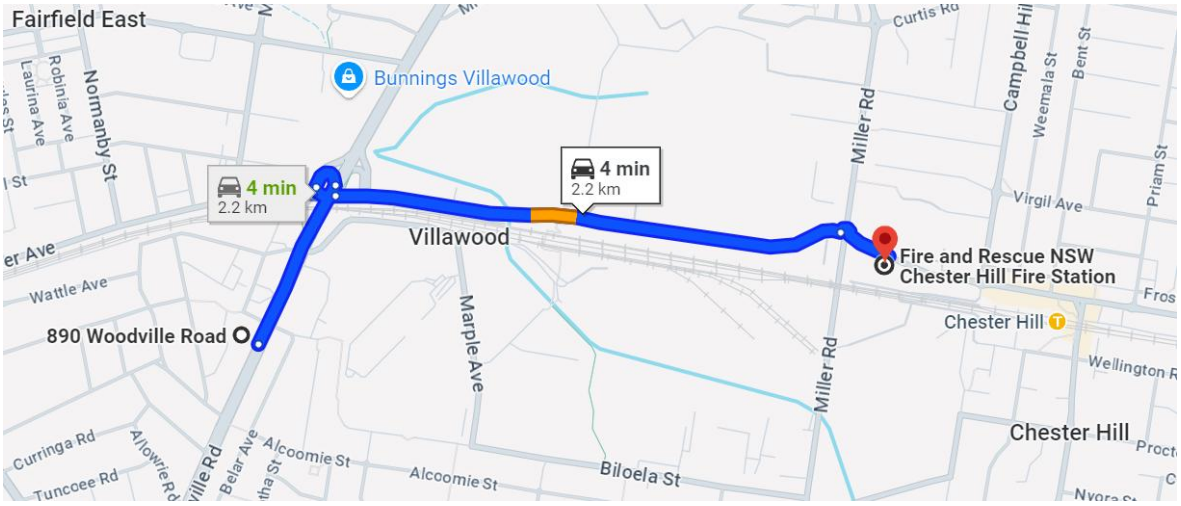

Figure 5-6 Proximity to Fire and Rescue NSW Chester Hill Fire Station and Approximate Drive Time (courtesy of Google Maps)

6.0 Statistical Analysis

Villawood is a suburb west of Sydney and is part of the Fairfield City Council LGA with a population of 7,051. According to the 2021 Census date, the median age of the population is 34 years with an approximate even distribution across the genders and a median weekly family income of $1,230 (ABS, 2021 Census).

6.1 Fairfield City Council Crime Statistics

Looking into 60-months of crime statistics in the Fairfield City Council LGA, tabulated in Table 6-2, there are three crime trends warranting attention, including non-domestic assault related incidents, malicious damage to property incidents and drug offences. The rates of crimes in the Fairfield LGA such as robbery and stealing from motor vehicles are stable compared to other LGAs.

6.2 Villawood Crime Statistics

- Villawood experiences a rate of 745.6 per 100,000 population for non-domestic assault incidents on par with NSW (427.9 per 100,000 population), indicating a higher assault rate when compared to other NSW suburbs.
- Villawood experiences more theft incidents (3629.7 per 100,000 population) compared to NSW (2366.8 per 100,000 population).
- Villawood experiences slightly higher arson incidents (56.3 per 100,000 population) compared to NSW (56.1 per 100,000 population), suggesting a relatively similar risk of arson-related crimes in Villawood.

The rate of malicious damage to property incidents in Villawood, at 970.7 per 100,000 people, surpasses the NSW average of 611.6 per 100,000 people, highlighting a greater frequency of such incidents in Villawood.

Between January 2022 and December 2023, Villawood experienced a trespass rate of 168.8 per 100,000 residents, which exceeds the NSW average rate of 152.4 per 100,000 residents. This indicates a relatively higher frequency of trespass crimes in Villawood.

It is important to recognise that trends in crime statistics do not necessarily indicate actual risk levels. While some data may reflect a decline in crime rates over a year, the frequency of such incidents can still be substantially high, and thus warrant mitigation measures.

6.3 Crime Hotspot Analysis

Further, specific analysis was conducted on the various crime categories in Villawood in relation to its geography. This is presented in Section 7 Crime Maps and Crime Hotspot Maps.

Table 6-1 - Villawood Crime Trends

Crime type	NSW Rate per 100,000 population, January 2022 to December 2023	Villawood Rate per 100,000 population, January 2022 to December 2023	Number of Incidents
Non-domestic assault incidents	427.9	745.6	53
Intimidation, stalking, harassment	582.4	970.7	69
Robbery	24.5	98.5	7
Homicide	1.2	0.0	0
Sexual offences	226.7	436.1	31
Theft incidents	2366.8	3629.7	258
Malicious damage to property incidents	611.6	970.7	69
Drug offences incidents	489.3	1814.9	129
Prohibited and Regulated Weapons Offences	183.9	197.0	14
Arson	56.1	56.3	4
Trespass	152.4	168.8	12

6.4 Villawood Crime Maps, Hotspots and Charts

Please note that Crime Maps, Hotspots and Charts for Villawood should be considered when appreciating the preceding statistics and the CPTED Analysis to follow. It is recommended that these are examined prior to viewing the CPTED Analysis below. They can be found in Section 7 of this report.

6.5 NSW Recorded Crime Statistics 2019-2023

Fairfield City Council Local Government Area: Number of recorded incidents and rate per 100,000 population; 24 and 60-month trend.

Table 6-2 – Recorded incidents of selected offences in the Fairfield City Council Local Government Area (Annual Totals and 60-month trend from July 2017 to June 2022) [source: NSW Bureau of Crime Statistics and Research]

		July-June 2020		*July-June 2021*		*July-June 202*		*July-June 2023*		*July-June 2024*				
Offence group	*Offence type*	*Number of incidents*	*Rate per 100,000 population*	*Number of incidents*	*Rate per 100,000 population*	*Number of incidents*	*Rate per 100,000 population*	*Number of incidents*	*Rate per 100,000 population*	*Number of incidents*	*Rate per 100,000 population*	*24-month trend^^*	*60-month trend^^*	*2023 LGA Rank**
The major offences	Murder^	2	0.9	2	1.0	1	0.5	0	0.0	1	0.5	nc**	nc**	
	Domestic violence related assault	759	358.4	785	375.5	839	405.7	917	443.4	919	444.4	Stable	1.7%	70
	Non-domestic violence related assault	559	264.0	587	280.8	444	214.7	544	263.0	695	336.1	27.8%	Stable	76
	Sexual assault	111	52.4	117	56.0	95	45.9	142	68.7	157	75.9	Stable	5.1%	101
	Sexual touching, sexual act, and other sexual offences	170	80.3	188	89.9	128	61.9	163	78.8	160	77.4	Stable	5.1%	95
	Robbery	87	41.1	78	37.3	40	19.3	61	29.5	39	18.9	Stable	-13.3%	51
	Break and enter dwelling	316	149.2	305	145.9	263	127.2	241	116.5	240	116.1	Stable	-12.4%	108
	Break and enter non-dwelling	115	54.3	98	46.9	65	31.4	90	43.5	81	39.2	Stable	-9.8%	109
	Motor vehicle theft	400	188.9	263	125.8	196	94.8	283	136.8	274	132.5	Stable	-6.4%	86
	Steal from motor vehicle	857	404.7	688	329.1	476	230.2	593	286.7	604	292.1	Stable	-6.2%	67

	Steal from retail store	354	167.2	400	191.3	273	132.0	546	264.0	451	218.1	-17.4%	5.4%	62
	Other stealing offences	723	341.4	713	341.0	539	260.6	569	275.1	590	285.3	Stable	-4.9%	103
	Malicious damage to property	877	414.1	909	434.8	895	432.8	796	384.9	960	464.2	20.6%	-2.0%	87
Other Homicide	Attempted murder	2	0.9	1	0.5	0	0.0	0	0.0	0	0.0	nc**	nc**	
	Murder accessory, conspiracy	0	0.0	0	0.0	0	0.0	0	0.0	0	0.0	nc**	nc**	
	Manslaughter^	0	0.0	0	0.0	0	0.0	0	0.0	1	0.5	nc**	nc**	
Other Assault	Assault Police	56	26.4	31	14.8	72	34.8	54	26.1	51	24.7	Stable	2.2%	
Abduction and kidnapping		6	2.8	6	2.9	9	4.4	9	4.4	5	2.4	nc**	nc**	
Robbery		64	30.2	41	19.6	23	11.1	33	16.0	18	8.7	nc**	nc**	
		3	1.4	7	3.3	2	1.0	8	3.9	2	1.0	nc**	nc**	
		20	9.4	30	14.3	15	7.3	20	9.7	19	9.2	nc**	nc**	
Blackmail and extortion		4	1.9	6	2.9	0	0.0	9	4.4	16	7.7	nc**	nc**	
Intimidation, stalking and harassment		853	402.8	1,003	479.8	1,117	540.1	1,074	519.3	1,092	528.0	Stable	3.5%	
Other offences against the person		36	17.0	41	19.6	52	25.1	39	18.9	37	17.9	Stable	nc**	
Other Theft	Receiving or handling stolen goods	302	142.6	343	164.1	289	139.7	353	170.7	299	144.6	Stable	3.0%	
	Steal from dwelling	231	109.1	269	128.7	187	90.4	205	99.1	201	97.2	Stable	-2.7%	
	Steal from person	46	21.7	58	27.7	30	14.5	37	17.9	32	15.5	Stable	-14.0%	

	Stock theft	0	0.0	0	0.0	1	0.5	0	0.0	2	1.0	nc**	nc**
	Fraud	1,338	631.8	1,186	567.3	1,078	521.3	1,082	523.2	1,035	500.5	Stable	-3.1%
	Other theft	446	210.6	386	184.6	321	155.2	327	158.1	355	171.7	Stable	-4.6%
Arson		45	21.2	51	24.4	32	15.5	50	24.2	50	24.2	Stable	-6.1%
Drug offences	Possession and/or use of cocaine	35	16.5	62	29.7	29	14.0	36	17.4	36	17.4	Stable	Stable
	Possession and/or use of narcotics	207	97.7	217	103.8	191	92.4	206	99.6	219	105.9	Stable	6.2%
	Possession and/or use of cannabis	533	251.7	480	229.6	314	151.8	348	168.3	336	162.5	Stable	-3.5%
	Possession and/or use of amphetamines	284	134.1	230	110.0	188	90.9	166	80.3	197	95.3	Stable	Stable
	Possession and/or use of ecstasy	21	9.9	15	7.2	4	1.9	7	3.4	5	2.4	nc**	nc**
	Possession and/or use of other drugs	175	82.6	279	133.5	239	115.6	222	107.3	178	86.1	Stable	5.5%
	Dealing, trafficking in cocaine	23	10.9	11	5.3	17	8.2	54	26.1	29	14.0	Stable	nc**
	Dealing, trafficking in narcotics	39	18.4	24	11.5	32	15.5	31	15.0	29	14.0	Stable	nc**
	Dealing, trafficking in cannabis	25	11.8	18	8.6	16	7.7	24	11.6	17	8.2	nc**	nc**
	Dealing, trafficking in amphetamines	48	22.7	58	27.7	44	21.3	52	25.1	45	21.8	Stable	Stable
	Dealing, trafficking in ecstasy	5	2.4	2	1.0	9	4.4	3	1.5	6	2.9	nc**	nc**

	Dealing, trafficking in other drugs	14	6.6	19	9.1	11	5.3	11	5.3	15	7.3	nc**	nc**
	Cultivating cannabis	46	21.7	39	18.7	40	19.3	14	6.8	9	4.4	nc**	nc**
	Manufacture drug	3	1.4	7	3.3	7	3.4	5	2.4	0	0.0	nc**	nc**
	Importing drugs	4	1.9	2	1.0	2	1.0	2	1.0	3	1.5	nc**	nc**
	Other drug offences	164	77.4	188	89.9	138	66.7	128	61.9	120	58.0	Stable	1.2%
Prohibited and regulated weapons offences		732	405	191.2	421	201.4	357	172.6	365	176.5	321	Stable	2.4%
Disorderly conduct	Trespass	141	66.6	172	82.3	106	51.3	227	109.8	198	95.7	Stable	Stable
	Offensive conduct	47	22.2	47	22.5	29	14.0	47	22.7	13	6.3	nc**	nc**
	Offensive language	49	23.1	43	20.6	26	12.6	31	15.0	18	8.7	nc**	nc**
	Criminal intent	43	20.3	50	23.9	40	19.3	62	30.0	35	16.9	Stable	-7.8%
Betting and gaming offences		0	0.0	1	0.5	0	0.0	1	0.5	1	0.5	nc**	nc**
Liquor offences		224	105.8	530	253.5	334	161.5	413	199.7	115	55.6	-72.2%	Stable
Pornography offences		12	5.7	21	10.0	13	6.3	28	13.5	18	8.7	nc**	nc**
Prostitution offences		6	2.8	0	0.0	0	0.0	0	0.0	1	0.5	nc**	nc**
Against justice procedures	Escape custody	4	1.9	3	1.4	4	1.9	1	0.5	2	1.0	nc**	nc**

	Breach Apprehended Violence Order	354	167.2	445	212.9	464	224.4	409	197.8	477	230.6	Stable	8.2%
	Breach bail conditions	1,433	676.7	1,429	683.5	1,383	668.7	1,314	635.4	1,151	556.6	-12.4%	9.6%
	Fail to appear	14	6.6	13	6.2	17	8.2	30	14.5	15	7.3	nc**	nc**
	Resist or hinder officer	141	66.6	117	56.0	115	55.6	146	70.6	99	47.9	-32.2%	-4.9%
	Other offences against justice procedures	31	14.6	45	21.5	21	10.2	24	11.6	31	15.0	Stable	nc**
Transport regulatory offences		3,138	1,481.8	2,237	1,070.0	1,421	687.1	1,569	758.7	1,194	577.3	Stable	-10.2%
Other offences		425	200.7	561	268.3	2,988	1,444.8	294	142.2	209	101.1	-28.9%	Stable

^ For murder and manslaughter, the data are counts of recorded victims, not criminal incidents.
^^ The trend test used was a two-tailed Kendall's rank-order correlation test with a 0.05 level of significance.
For the 24-month trend the annual percentage change is provided if the trend was significant.
For the 60-month trend the average annual percentage change is provided if the trend was significant.
* Ranks and rates are only calculated for Local Government Areas (LGAs) with populations of 3000 people or more (n = 120).
Sydney LGA is excluded from the rankings because the resident population does not reflect the number of people present each day.
Ranks and rates are not calculated for the 'In Custody' category
Rates are only calculated for the major offences. Ranks are not calculated for murder due to the low number of recorded victims per LGA.
The robbery and sex offence categories are combined because the numbers are too small within the individual categories to calculate reliable rate estimates.
** Trend information is not calculated (nc) if at least one 12-month period in the selected timeframe had less than 20 incidents.
Source: NSW Bureau of Crime Statistics and Research

Red highlighted statistics indicate rising crime trends or high incidents of crime occurrence.
Green highlighted statistics indicate declining crime trends.

7.0 Crime Maps and Crime Hotspot Maps

This section illustrates the crime maps and crime hotspot maps, along with graphs comparing certain crime trends to the rates in NSW. The categories are tabulated below:

Crime type	Link to Figure	Crime Maps and Comparison Graphs
Non-Domestic Violence Related Assault	Figure 7-1	Crime Rate Map
	Figure 7-2	Crime Hotspot Map
	Figure 7-3	Rates by Premises
	Figure 7-4	Comparison with NSW Rate
Homicide	Figure 7-5	Crime Rate Map
Robbery	Figure 7-6	Crime Hotspot Map
Sexual Offences	Figure 7-7	Crime Rate Map
	Figure 7-8	Comparison with NSW Rate
Intimidation, stalking and harassment	Figure 7-9	Crime Rate Map
	Figure 7-10	Rates by Premises
Malicious Damage to Property	Figure 7-11	Crime Rate Map
	Figure 7-12	Crime Hotspot Map
Theft	Figure 7-13	Crime Rate Map
	Figure 7-14	Comparison with NSW Rate
Drug Offences	Figure 7-15	Crime Rate Map
	Figure 7-16	Comparison with NSW Rate
Prohibited and Regulated Weapons Offences	Figure 7-17	Crime Rate Map
	Figure 7-18	Comparison with NSW Rate
Arson	Figure 7-19	Crime Rate Map
Trespass	Figure 7-20	Crime Rate Map

(Please note that the project site is in proximity to the red circle in the following maps.)

7.1 Non-Domestic Violence Related Assault

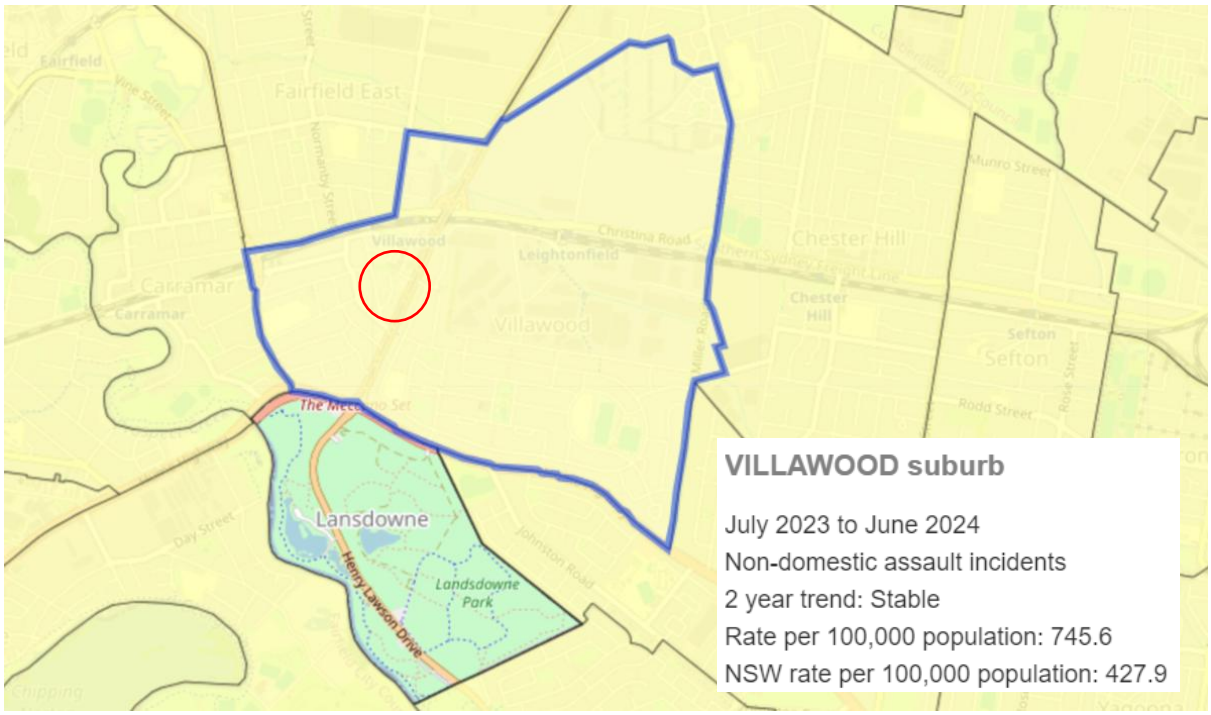

Figure 7-1 Non-Domestic Violence Related Assault – Crime Rate Map of Villawood from July 2023 to June 2024. There were 53 incidents of non-domestic violence related assault recorded for this period.

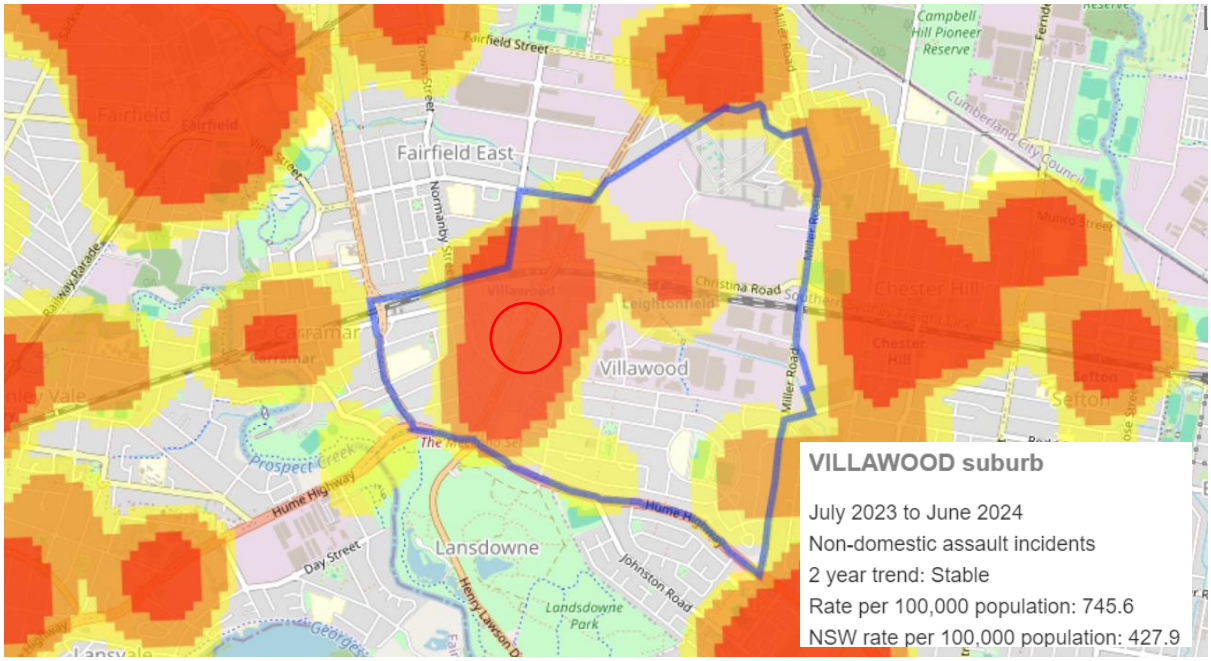

Figure 7-2 - Non-Domestic Violence Related Assault – Crime Hotspot Map of Villawood from July 2023 to June 2024. There were 53 incidents of non-domestic violence related assault recorded for this period.

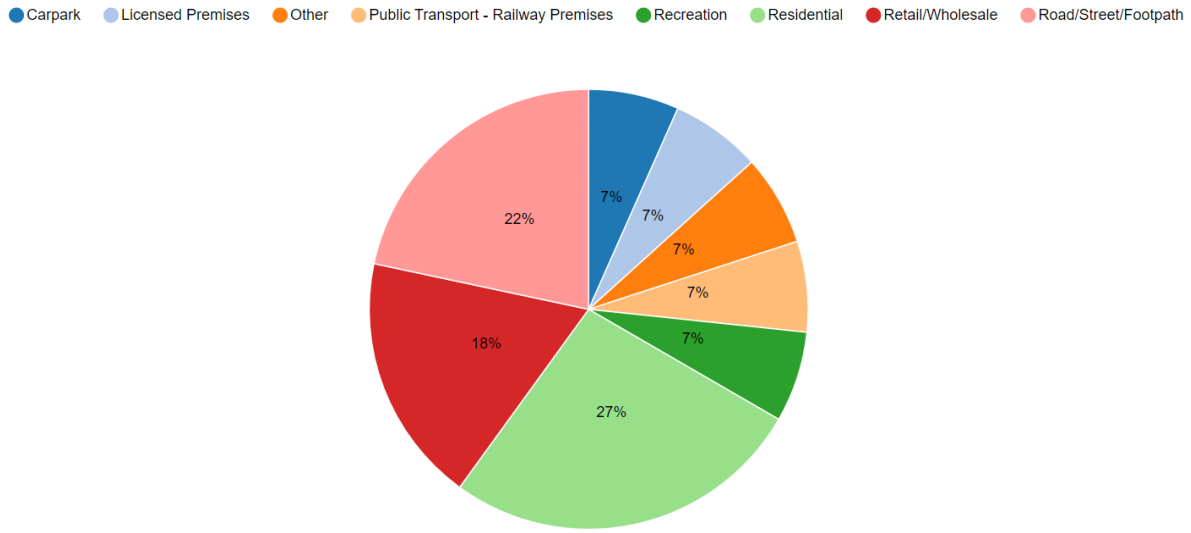

Figure 7-3 - Non-Domestic Violence Related Assault by premises in Villawood from July 2023 to June 2024. There were 53 incidents of non-domestic violence related assault recorded for this period.

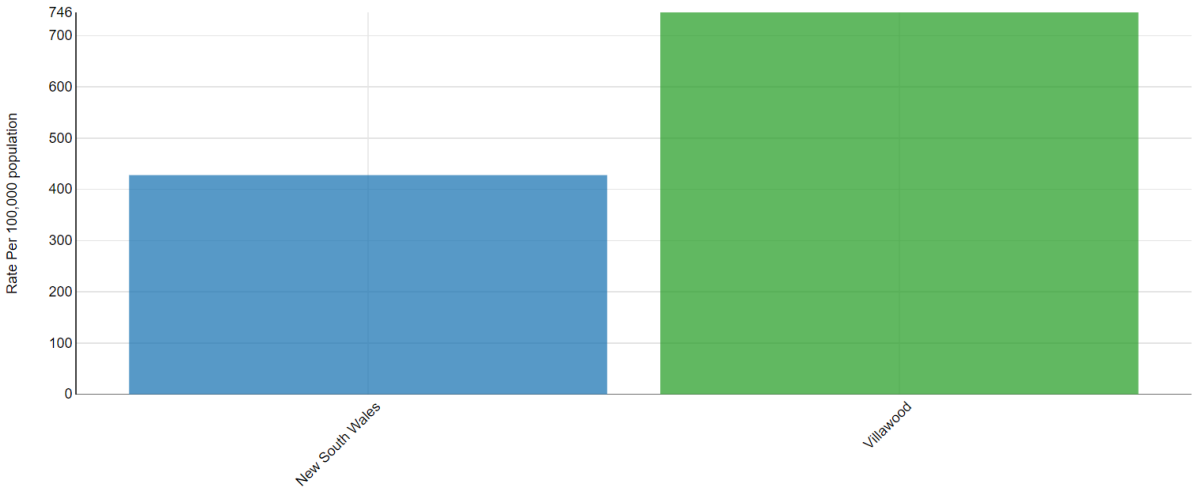

Figure 7-4 - Non-Domestic Violence Related Assault NSW rate as compared Villawood from July 2021 to June 2022. There were 53 incidents of non-domestic violence related assault recorded for this period.

7.2 Homicide

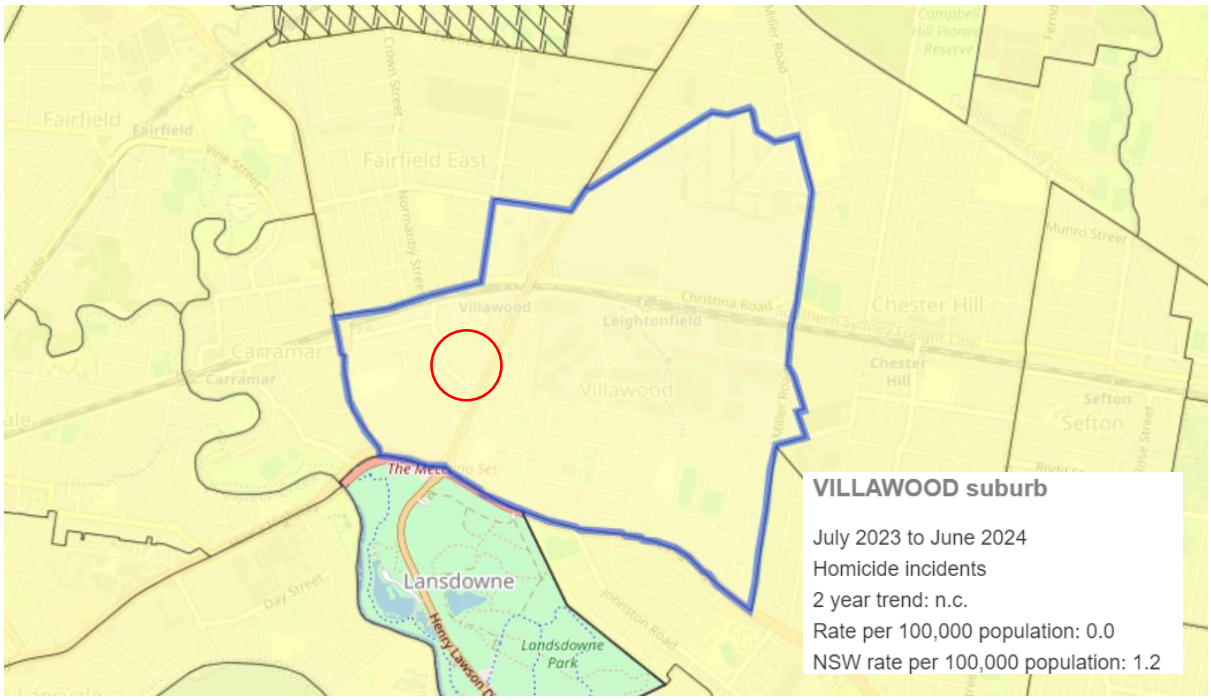

Figure 7-5 - Homicide – Crime Rate Map of Villawood from July 2023 to June 2024. There were 0 incidents of homicide recorded for this period.

7.3 Robbery

7 incidents of robbery recorded for the suburb of Villawood during this period.

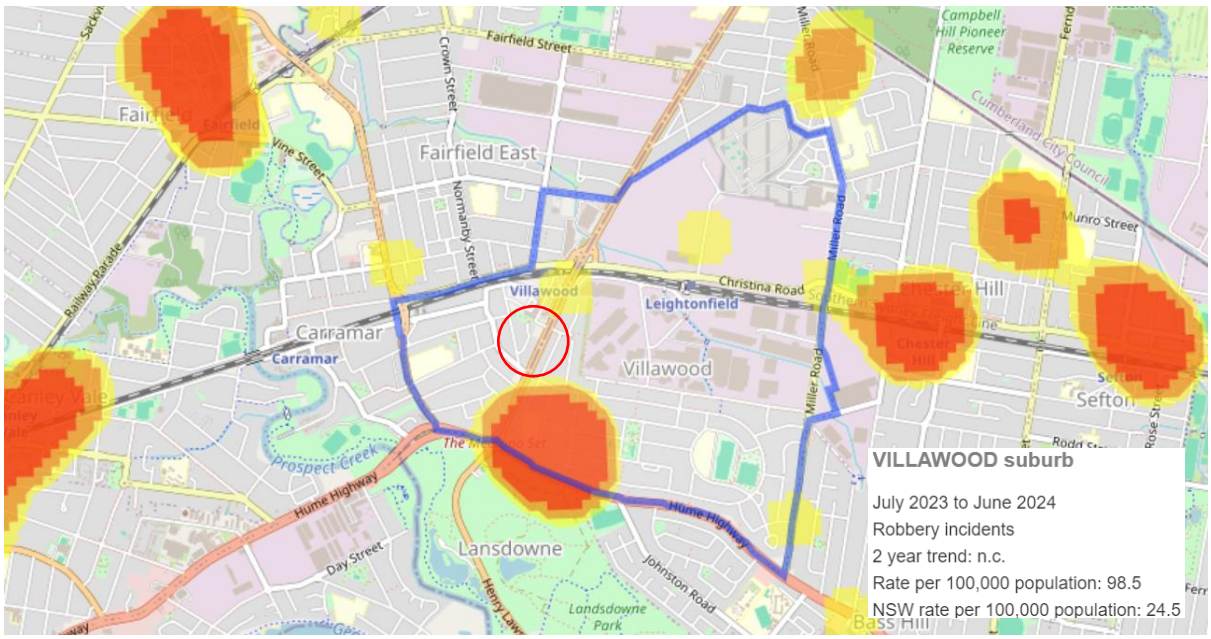

Figure 7-6 - Robbery – Crime Hotspot Map of Villawood from July 2021 to June 2022. There were 7 incidents of robbery recorded for the suburb of Villawood during this period.

7.4 Sexual Offences

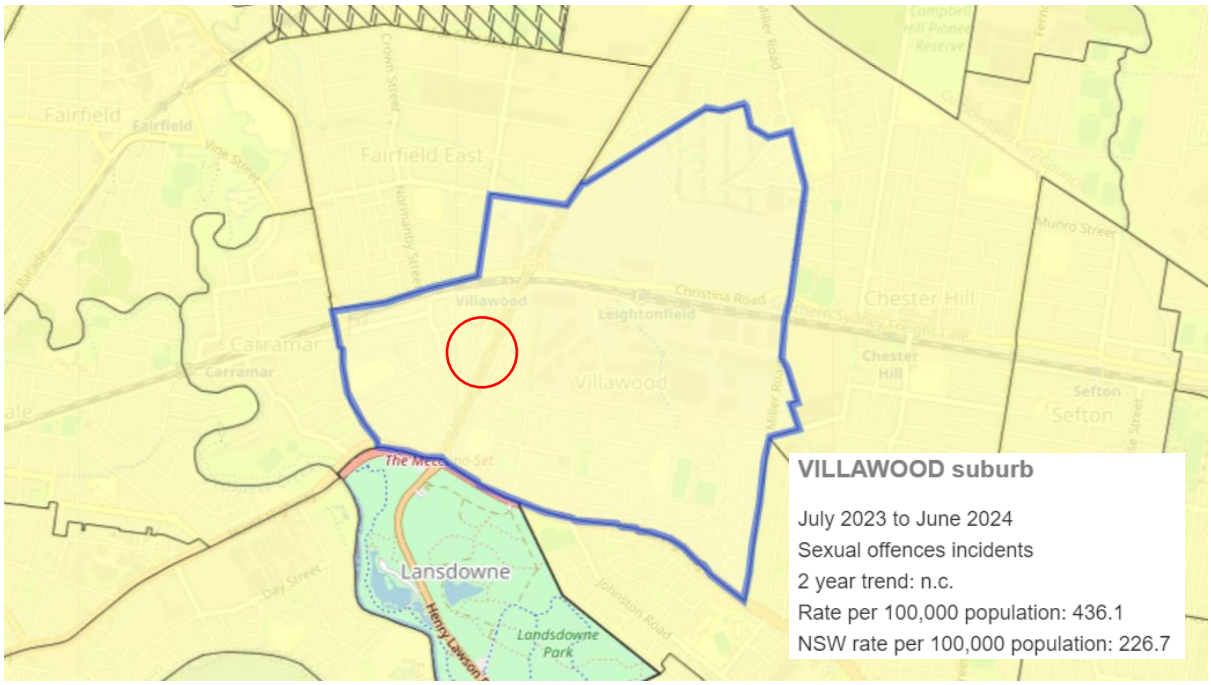

Figure 7-7 - Sexual Offences – Crime Rate Map of Villawood from July 2023 to June 2024. There were 31 incidents of sexual offences reported during this period.

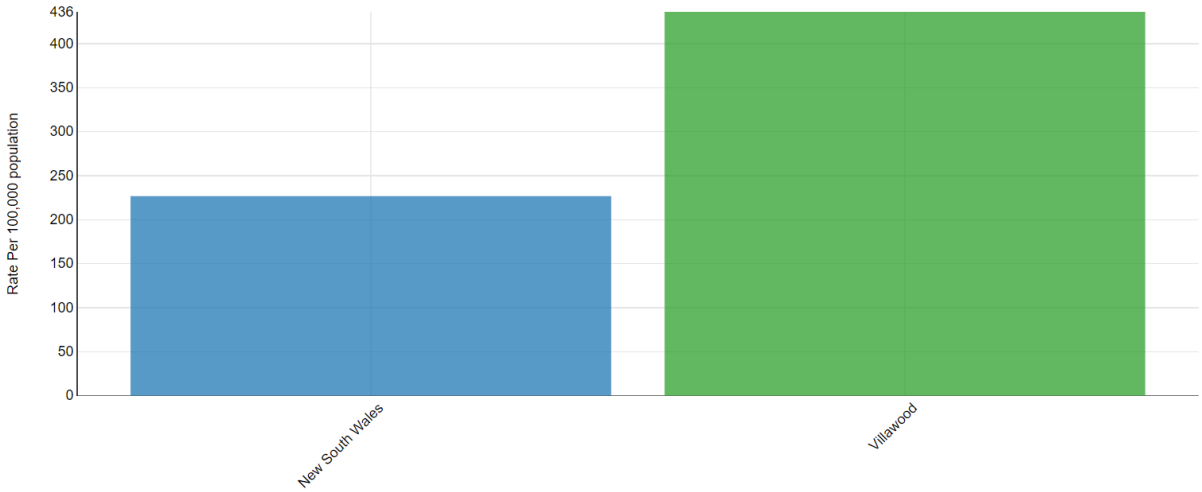

Figure 7-8 - Sexual Offences rate comparison – Villawood with NSW from July 2023 to June 2024. There were 31 incidents of sexual offences reported during this period.

7.5 Intimidation, stalking and harassment

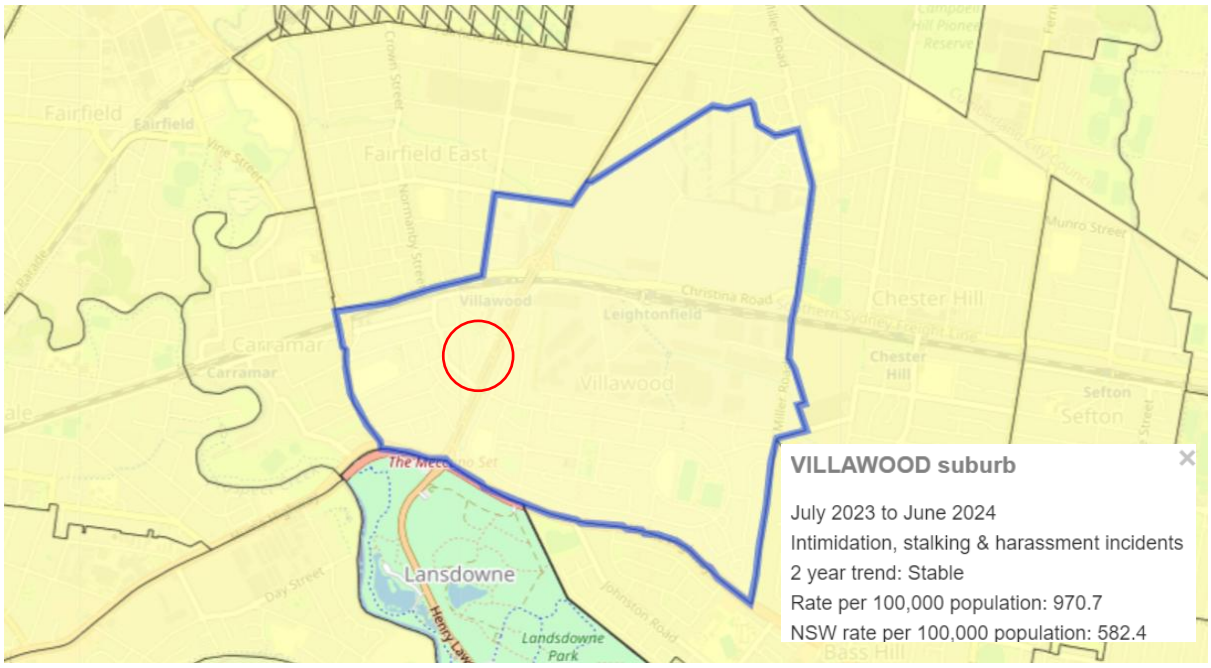

Figure 7-9 - Intimidation, stalking and harassment – Crime Rate Map of Villawood from July 2023 to June 2024. There were 69 incidents of intimidation, stalking and harassment reported during this period.

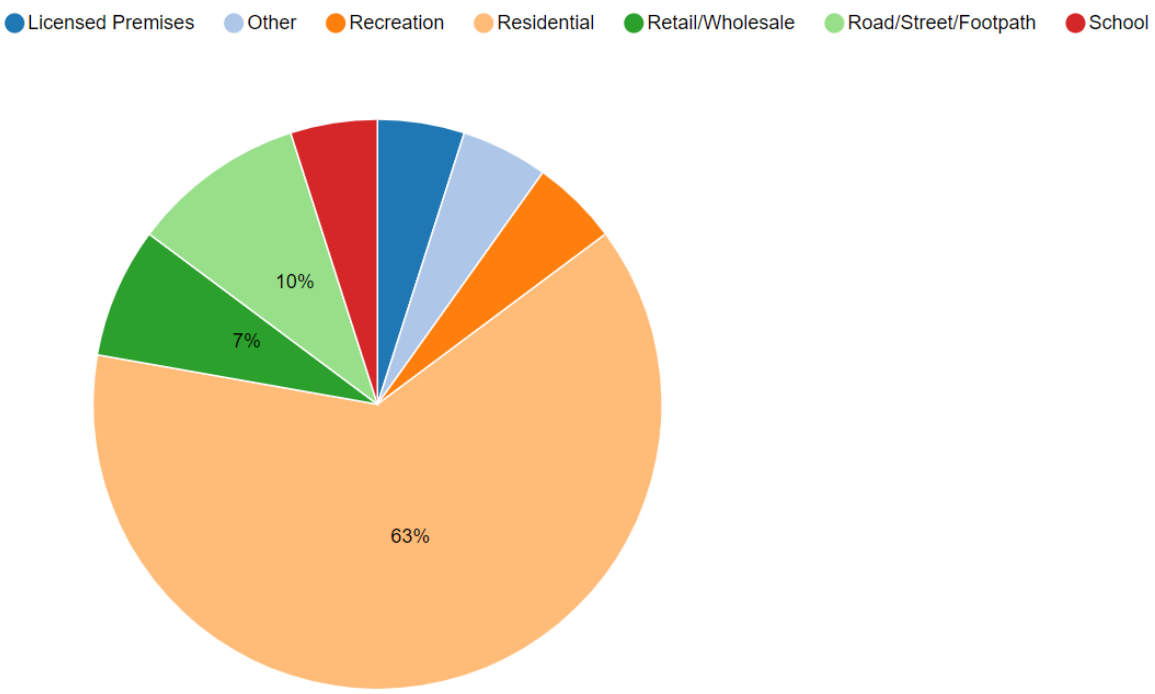

Figure 7-10 - Intimidation, stalking and harassment by premises from July 2023 to June 2024. There were 69 incidents of intimidation, stalking and harassment reported during this period.9

7.6 Malicious Damage to Property

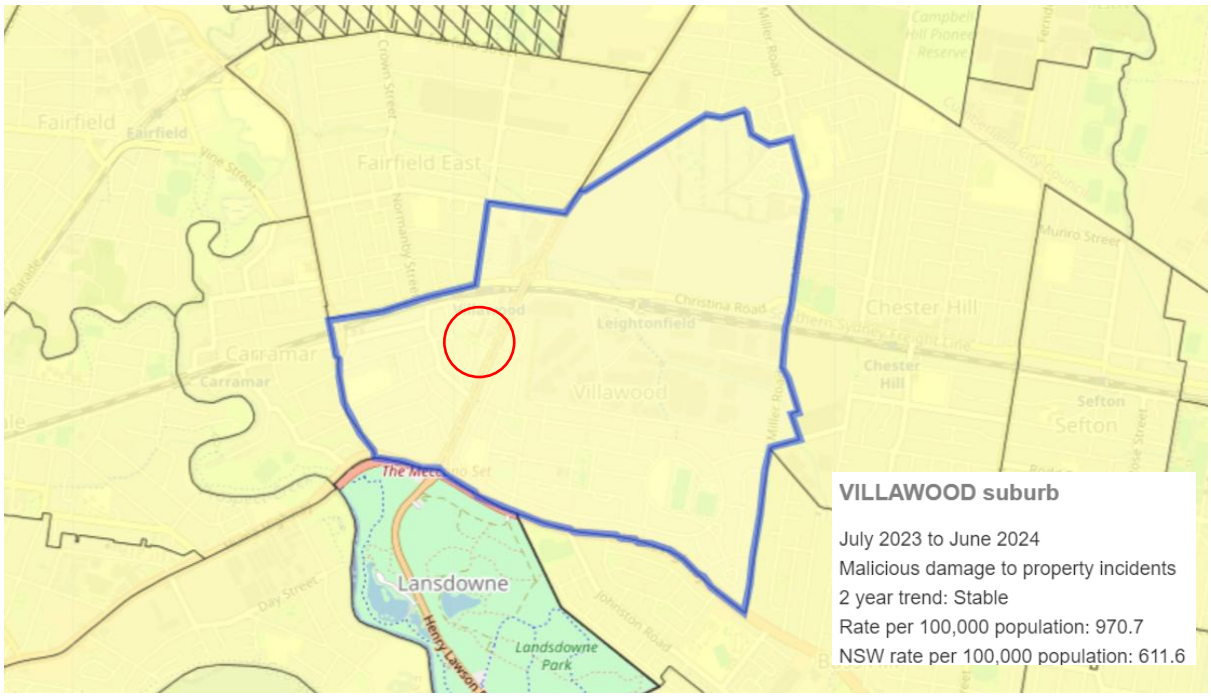

Figure 7-11 - Malicious Damage to Property Crime Rate Map of Villawood from July 2023 to June 2024. There were 69 incidents of malicious damage to property during this period.

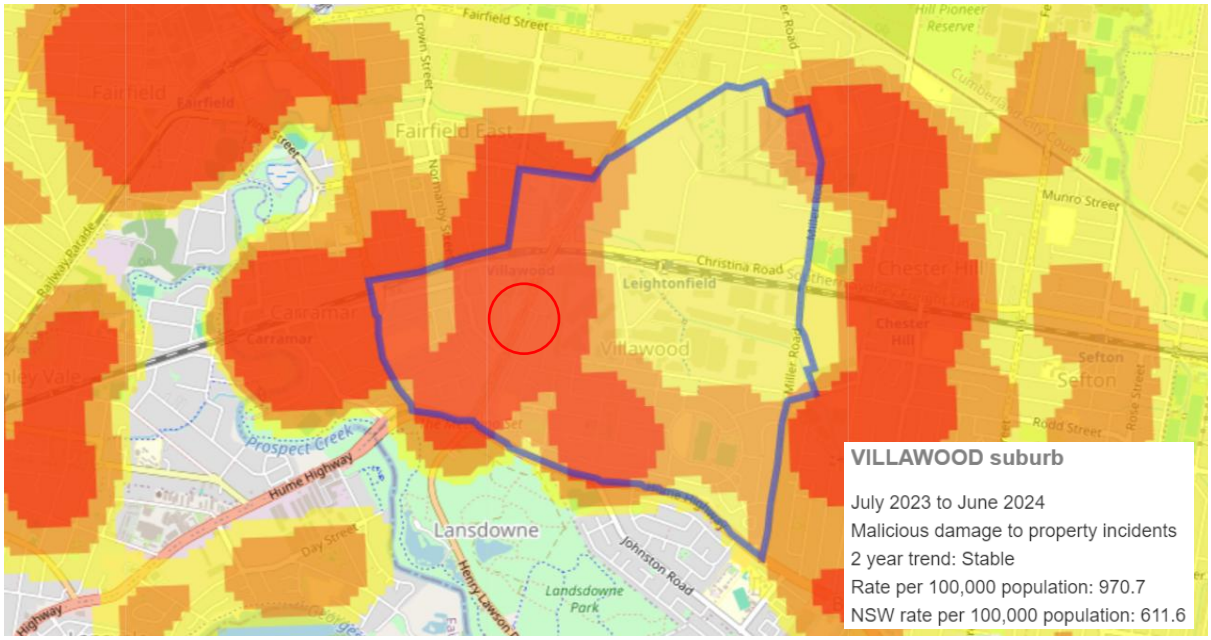

Figure 7-12 - Malicious Damage to Property – Crime Hotspot Map of Villawood from July 2023 to June 2024. There were 69 incidents of malicious damage to property during this period.

7.7 Theft

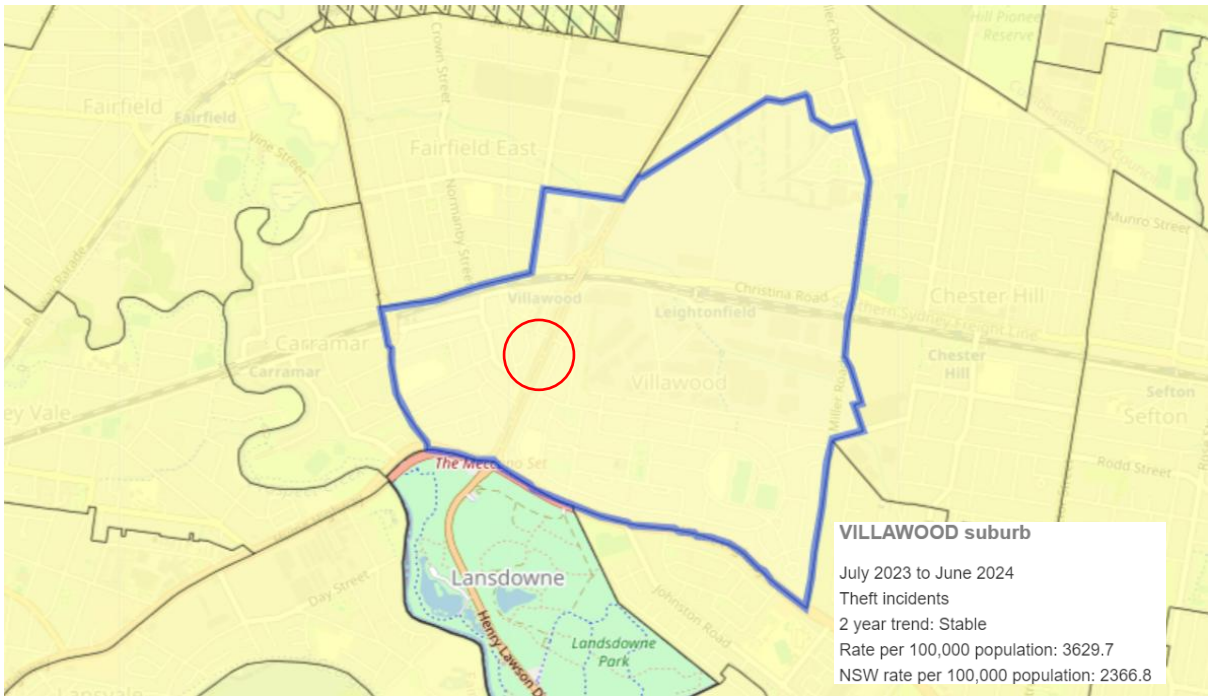

Figure 7-13 - Theft – Crime Rate Map of Villawood from July 2023 to June 2024. There were 258 incidents of theft during this period.

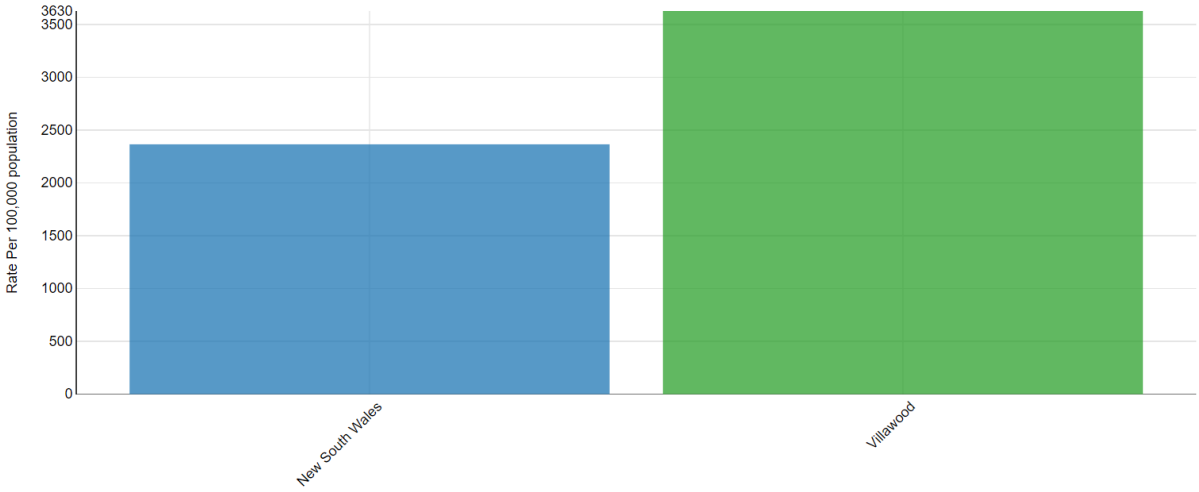

Figure 7-14 - Theft rate comparison – Villawood vs NSW - from July 2023 to June 2024. There were 258 incidents of theft during this period.

7.8 Drug Offences

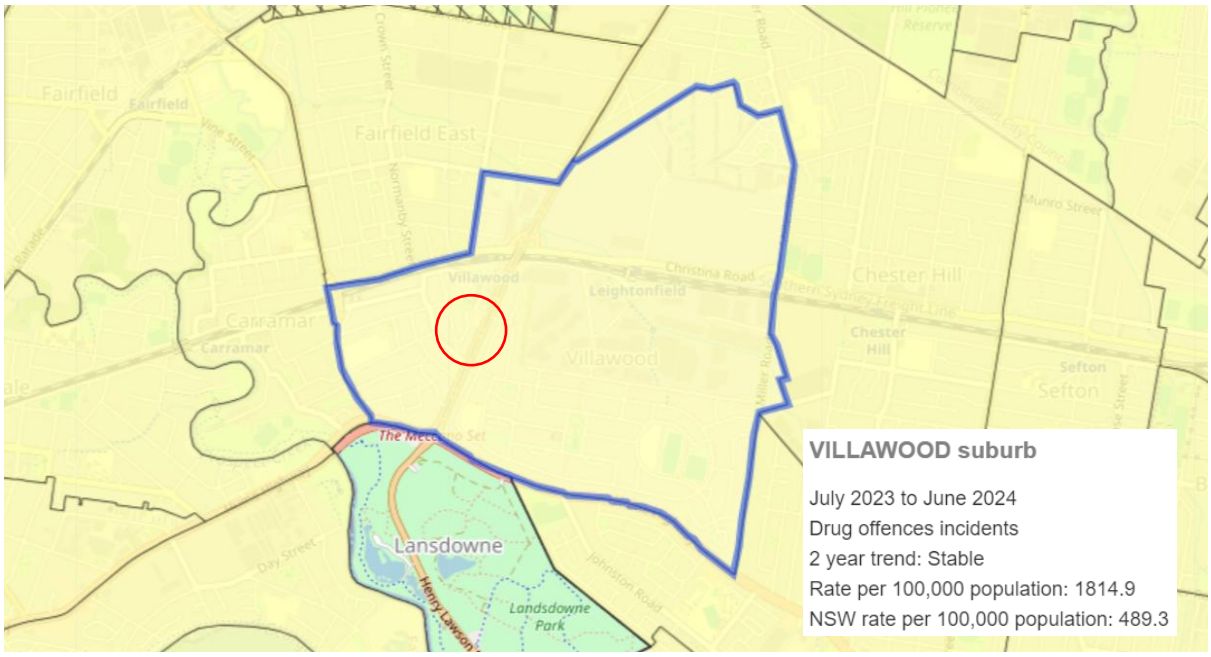

Figure 7-15 - Drug Offences – Crime Map of Villawood from July 2023 to June 2024. There were 129 drug offences in Villawood during this period.

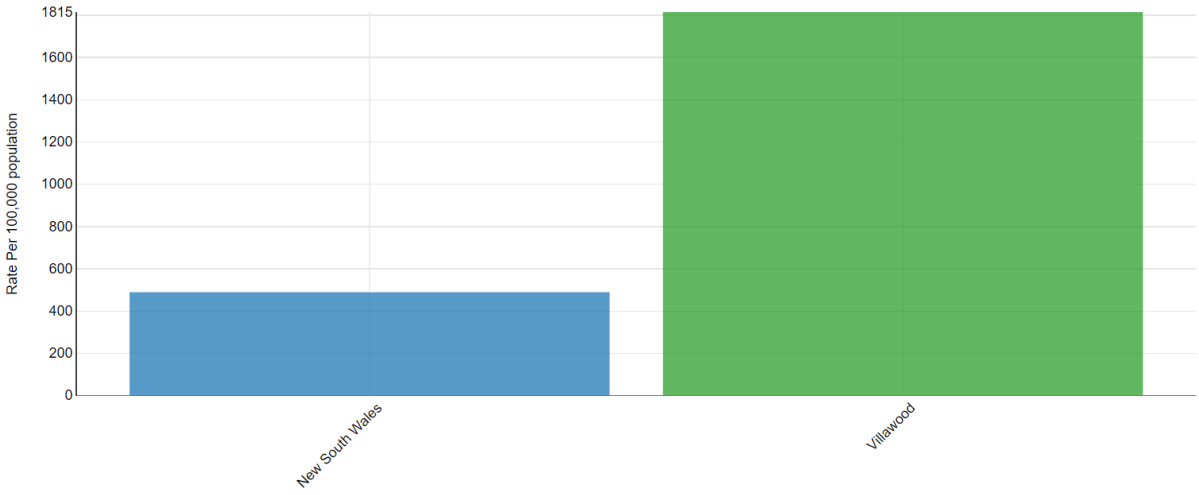

Figure 7-16 - Drug Offences – comparison with NSW rate - Villawood from July 2023 to June 2024. There were 129 drug offences in Villawood during this period.

7.9 Prohibited and Regulated Weapons Offences

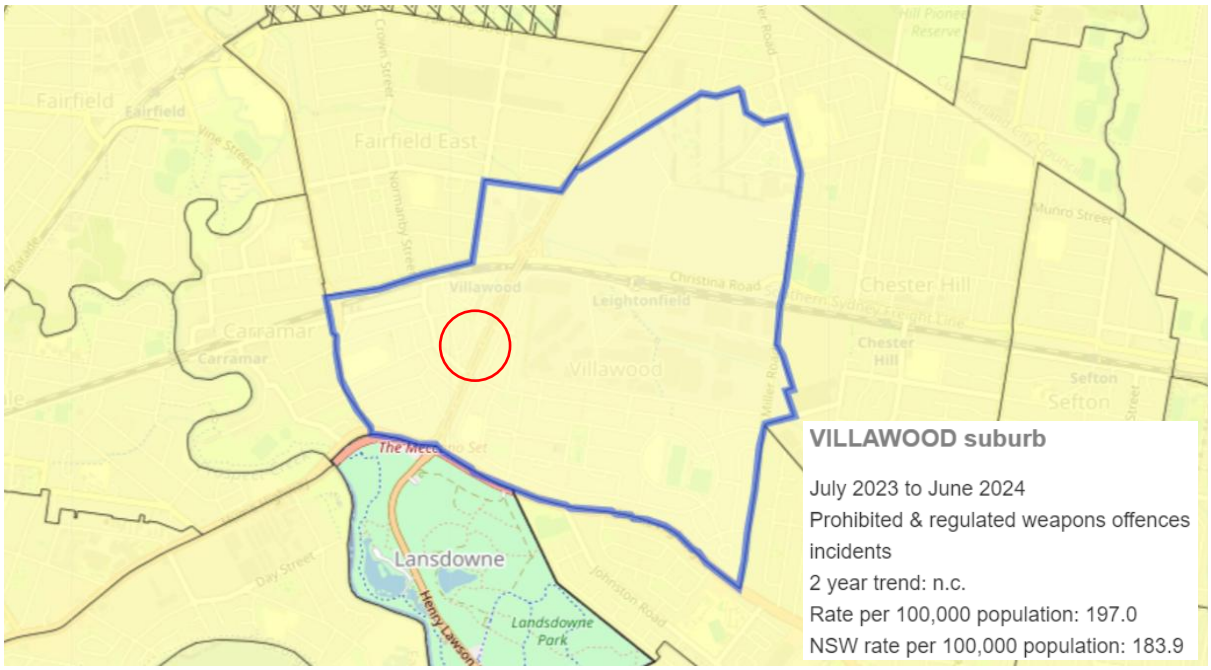

Figure 7-17 - Prohibited and Regulated Weapons Offences – Crime Rate Map of Villawood from July 2023 to June 2024. There were 14 offences related to prohibited and regulated weapons during this period.

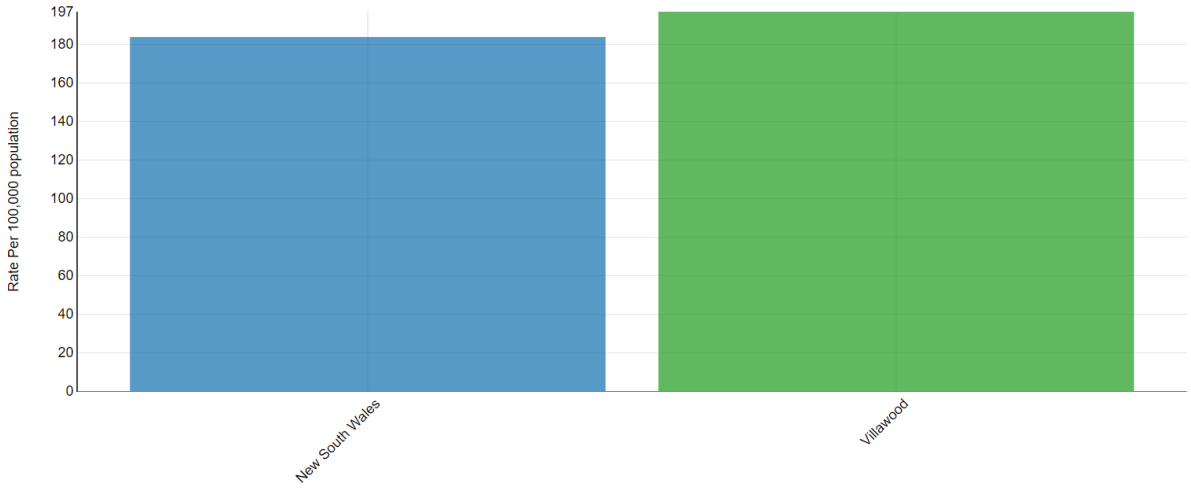

Figure 7-18. Prohibited and Regulated Weapons Offences – comparison with NSW rate - Villawood from July 2023 to June 2024. There were 14 offences related to prohibited and regulated weapons during this period.

7.10 Arson

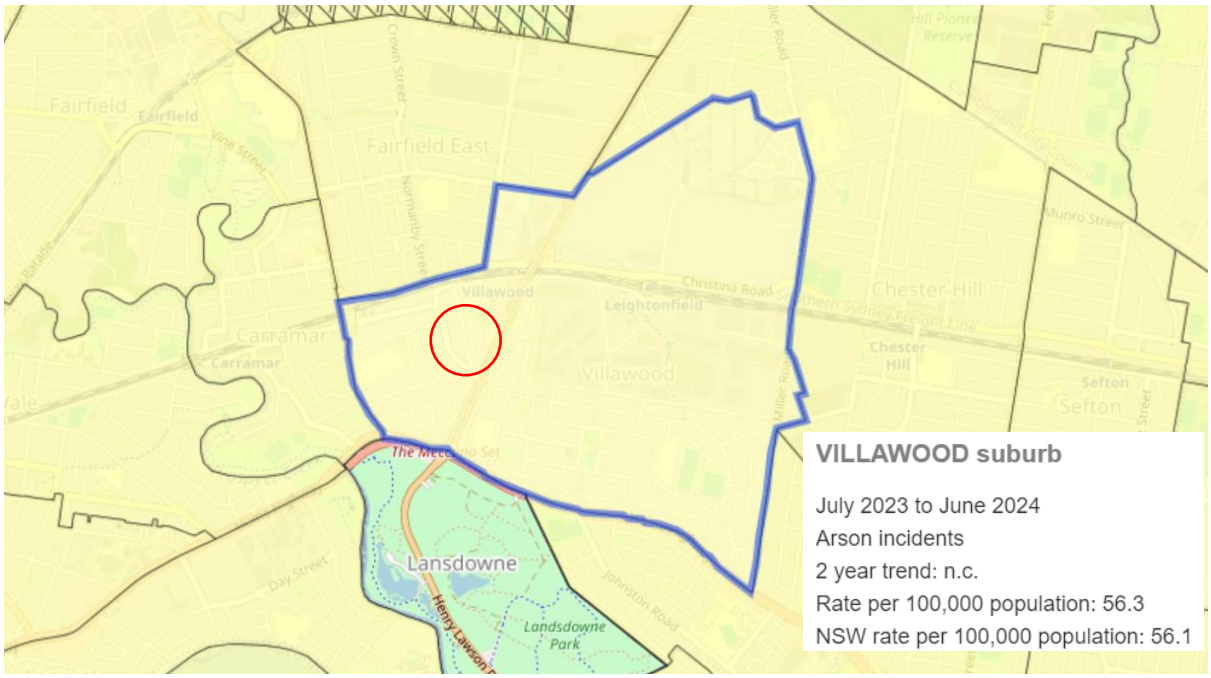

Figure 7-19 - Arson Offences – Crime Rate Map of Villawood from July 2023 to June 2024. There were 4 offences related to Arson during this period.

7.11 Trespass

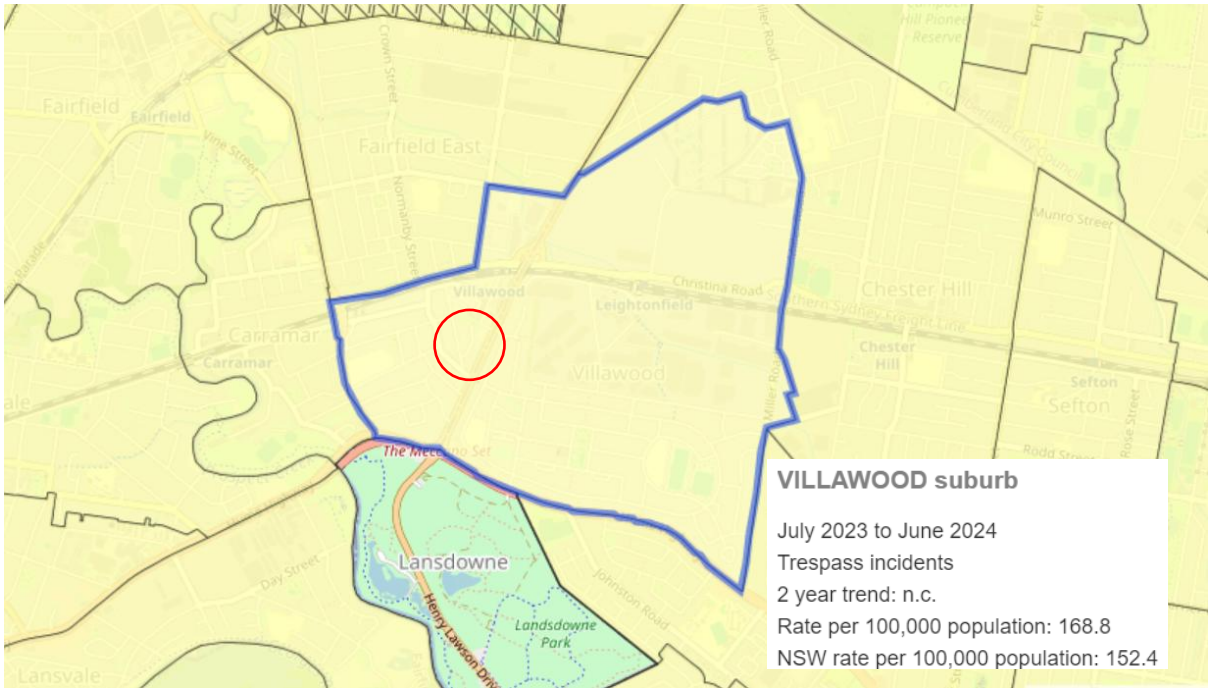

Figure 7-20. Trespass Offences – Crime Rate Map of Villawood from July 2023 to June 2024. There were 12 offences related to trespass during this period.

8.0 CPTED Analysis

Crime Prevention Through Environmental Design incorporates eight essential principles aimed at reducing crime opportunities. These principles are divided into two categories. The "First Generation" principles focus on designing the physical structure of environments to deter crime. The "Second Generation" principles concentrate on enhancing community and social measures to secure environments. Both categories are illustrated in Figure 8-1.

The following is an assessment of the site at 896 Woodville Road, Villawood, against criteria identified within the CPTED guidelines. In addition to the completion of the CPTED Markup in Annex A, the NSW Police CPTED Checklist 2018 was completed, as shown in Annex B.

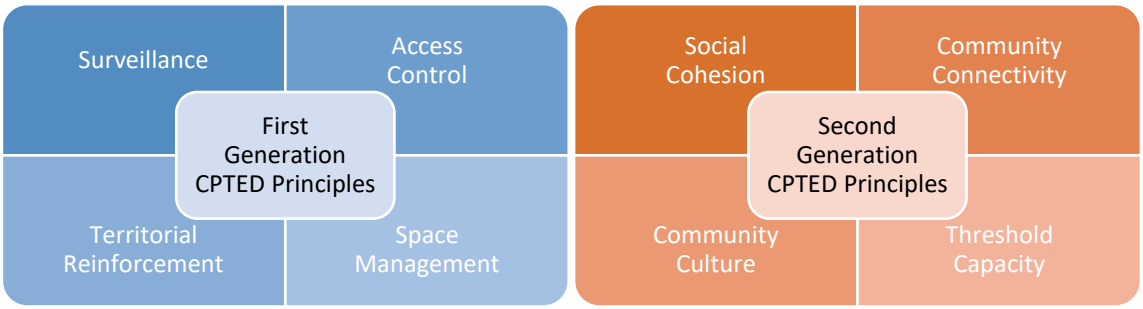

Figure 8-1 – CPTED Principles

8.1 Natural Surveillance

8.1.1 Blind Corners

CPTED principles require that the design eliminate any entrapment opportunity by ensuring no hidden spaces, recesses or voids exist that could provide a person with the ability to conceal themselves or others from general view. There are many blind spots on site that have been identified in the markup of the architectural plans shown in Annex A; these locations include:

- Staircases
- Corners of buildings
- Lift lobbies
- Fire exits
- Some areas of the basement- around the lifts and fire stairs

These locations and other areas such as common areas including the common open space, retail spaces and car parks are recommended to be covered by effective lighting and video surveillance where reliable natural surveillance opportunities cannot be produced.

8.1.2 Site and Building Layout

The site has two-street frontages on Woodville Road and Howatt Street, which have good passive surveillance opportunities. Many sightlines within the building and open spaces are blocked due to

the surrounding buildings as well as the fuel station in front of the development. It is recommended that security lighting and surveillance cameras are added, as marked up in Annex A.

8.1.3 Public Access

Given the nature of the mixed-use development, it is recommended that site access to the upper level of the development is limited to only the residents and their authorised visitors, shown in the markup in Annex A. However, access control systems such as card readers should be utilised to ensure that residents are only allowed to access common areas, the car park and their specific floor. The opened retail spaces are to be unlocked during operational hours to be accessed by owners and customers. During off hours all spaces are to be locked using keys given to the retail owner. Emergency service parking for emergency personnel shall be available in the basement.

8.1.4 Common Areas

Common areas in this mixed-use development include the carpark, corridors and common open space. Adequate lighting and CCTV is necessary in these areas due to the limited passive surveillance and the presence of recesses that create opportunities for ambush. Additionally, wayfinding signage should be utilised to help guide residents through common areas.

8.1.5 Entrances

There are three pedestrian entrances to the mixed-use flat building and two vehicle entry point into the common basement. All entrances are recessed well within the building with minimal passive surveillance and creating ambush zones. It is recommended that vandal resistance video surveillance and security lighting is provisioned, as per the mark-up in Annex A, to mitigate this risk. Additionally, adequate signage and wayfinding, which is sufficiently lit at night-time is required. There should be clear wayfinding signage and map at the entrance of the facility and all entry points. All entry and exit points should have video surveillance and adequate security.

8.1.6 Landscaping

It is recommended that all vegetation that impedes sight lines or can be used as climbing aids is assessed and replaced with plants that in their mature form do not impede sightlines nor serve as climbing aids. Landscaping should not allow anyone to hide within it. It is recommended to use harsh landscaping in certain areas of the building to deter access. Landscaping utilised within common areas of the building should also be maintained and not exceed sightlines to allow for passive surveillance in and out of units nearby.

8.1.7 Lighting

Effective lighting is a key element of the CPTED strategy and for the effective operation of the video surveillance cameras. Design is to be undertaken to ensure effective lighting, in line with AS 4282, of the building façade, entrances and exits signage, building approach vectors, and vehicle entry points, car park area and the inside of the facility. Each unit should have effective lighting. Common areas such as corridors and the car park must be adequately lit during day and night. Security lighting is recommended in the car park, around the perimeter and at all entry points as shown in the mark-up in Annex A. Additionally, motion sensor-based vandal proof lighting is recommended for the inside of the premises, in line with AS 1680. Light switches, circuit breakers and distributions boards for all

lights must be in a secure area within the premises. Moreover, a safe pedestrian walkway must be clearly marked with pedestrian level lighting. Lighting must consider vegetation, in its current and mature form, as well as any other element that may have the potential for blocking light. Lighting to comply with the lighting plan shall comply with relevant Australian Standards with attention to the transition to poorly lit areas such as the car park, where additional lighting poles may need to be employed to effectively light the area as noted in the CPTED Markup in Annex A. Emphasis must be placed on the uniformity of lighting and where video surveillance is employed, to aid its performance through white light illumination or infra-red illumination, as required.

8.2 Access Control

8.2.1 Landscaping

Landscaping is utilised at the front and sides of the building as well as in the common open space. The landscaping is effective in deterring access to the building facade and serves to control access, demarcating the public space from the private residential space.

8.2.2 Security

Site security measures such as signage are recommended to achieve a level of separation between the mixed-use development and retail facilities. Vandal proof lighting and video surveillance is recommended for the car park areas. Additional security measures including video surveillance, access control are recommended for the multi-purpose development. Emergency personnel should have access to the building in cases of an emergency.

Access into common areas should have a general lock to prevent access. Only residents on a specific floor should have access to the corridor leading to apartments on that floor. Reed switches should be installed on fire doors to allow the door status to be monitored and alarms to be raised when door are left opened for too long or used in non-emergency purposes. Stakeholders such as residents, residential visitors, building management and trades people should be the only people to have access into the upper levels of units. Anyone should be able to access the retail spaces during staffed hours.

All garages in the basement must have individual locks that the unit owner has access to. The garage facility must have floor to ceiling wall. The contents inside each individual unit's garage must not be visible from the outside. The main roller door must be secured with an electronic access system. All residents must be supplied with additional storage facilities so that items are not left in common areas.

Garbage bays must be locked to restrict unauthorised entry. Access must not be restricted by large garbage bins or other objects.

It is further recommended that the power distribution boards and mains power to the site are located within locked rooms or cabinets fitted with a lock set approved by the local authority. Access to mechanical and electrical utility rooms shall be restricted to authorised personnel as approved by the local authority. Additionally, the letter box must be fitted with an appropriate lock set and kept locked. The letter box collection facility must be enclosed in the foyer window of the property or in a locked foyer with access for Australia Post via swipe card stored in Safe Cylinder Storage.

It is recommended that the security system should comprise video surveillance with a minimum of 14 days of storage, electronic access control, intruder alarm system, and its purpose is to effectively manage and monitor entry to and activity on the site. Dummy cameras should not be utilised at the building.

8.2.3 Doors

All external door hinges must be mounted so they cannot be removed. External doors and framed must be of solid construction. The doors must be fitted with quality lock sets to restrict access when not in use. In this mixed-use development, these locks must be fitted in storerooms to prevent unauthorised people from entering. Peep holes must be installed on the front door of every unit as noted in the markup in Annex A.

8.2.4 Windows

All external windows must be solidly constructed. All windows must be fitted with quality lock sets. All unused windows must be permanently closed & secured.

8.3 Territorial Reinforcement

8.3.1 Entrances

Entrances should be celebrated and have lighting, video surveillance and signage that reinforces ownership of the site and conveys a secure entry point to its users and would-be vandals or criminals near the location. Therefore, the entry and exit gates must be adequately lit at all times.

8.3.2 Signage

The recommended signage should be appropriately lit to ensure day and night-time legibility. It is also recommended that wayfinding signage directs vehicle and pedestrian traffic and the driveway to the appropriate entrance. These are required both at street level as within the basement car parks. Additionally, the street number must be clearly visible from the road, and adequately lit so that it is visible at night. Car park restrictions should also be clearly visible, as indicated in Annex A. Each unit number must be visible from outside the unit. Appropriate warning signage should also be utilised around necessary locations such as near roller door.

8.3.3 Perimeters

The perimeter of the site has been designed to reinforce ownership and jurisdiction of the site as opposed to the general footpath and road. At present, the use of features such as landscaping is effective at demarcating this ownership and separation of the mixed-use development from public spaces. Landscaping must be maintained allowing for passive surveillance.

8.3.4 Design Elements

Clearly defining transitions and boundaries between public and private spaces. The retail customer car park has been separated from the residential car park through the use of a boom-gate. While this may prevent a vehicle from entering this area, it does not prevent pedestrians from freely entering the residential car park. A security roller door is recommended instead. This has been effectively achieved through the current architectural plans.

Clearly defining the use of spaces, with particular attention to the pedestrian walkway in between and around the building. Clear signage restricting entry and use of the car park should be stipulated. Please refer to Annex A for additional notes in this regard. Common areas such as garbage areas should be appropriately separated from the private unit's garage and storage space.

8.4 Space Management

8.4.1 Maintenance

Create a "cared for" image. Ensure that landscaping is well maintained, to give an impression of ownership, care, and security in an ongoing manner. This can be provided for by creating a Total Security Management Plan (TSMP) that can be handed over to the Centre Management at the appropriate time.

Provisions to be specifically addressed in the Total Security Management Plan include:

1) All exit doors must be free from obstructions and/or rubbish.
2) The locks must be in good working order.
3) All high-risk doors must be locked at all times.
4) The access control system must be regularly purged to remove any old owners from the database.
5) The landscaping is regularly cared for and pruned to ensure that it does not impede sightlines.
6) Lighting around the premises should be regularly checked and replaced as required.
7) Walk-throughs of the premises should be regularly carried out to identify any left objects.
8) Gutters must be kept clean.

It may be prudent to treat the site with anti-graffiti paint at certain key locations to deter graffiti offenders targeting the building and to institute a policy of rapid graffiti removal as part of the TSMP. This will preserve the building and increase a sense of maintenance and ownership of the site.

8.4.2 Materials

Use materials which reduce the opportunity for vandalism. Consider using strong, wear resistant laminate, impervious glazed ceramics, treated masonry products, stainless steel materials, anti-graffiti paints, and clear over sprays to reduce opportunities for vandalism. Avoid flat or porous finishes in areas where graffiti is likely to be a problem. Where large walls are unavoidable, consider the use of barriers and/or apply anti-graffiti treatment. There are not many large walls exposed to the street front. Methods to counter graffiti vandalism of property include: the context and susceptibility of the property, the design, selection, and use of construction materials that are resistant to graffiti, and surface protection. Rapid graffiti removal policies and the use of anti-graffiti coatings to prevent penetration into the substrate to facilitate the ease of removal of graffiti have been identified as the most effective means of combating graffiti. The graffiti resistance of exposed surfaces is a function of its susceptibility to penetration by the marking agent (e.g. aerosol spray paints) and its sensitivity to damage during cleaning. Hard, non-porous, impermeable, and smooth surfaces generally have a good graffiti resistance and cleanability. Permeable or porous surfaces are difficult to clean. Similarly, rough, and heavily textured surfaces also pose cleaning difficulties. Resistant substrates such as hand glazed ceramic tiles, glass, polished stone, hard glazed brick, and metals are recommended in high-

risk areas. Protective anti-graffiti coatings are recommended where construction materials with lower graffiti resistant substrates are utilised such as concrete, sandstone, limestone, normal brick, timber, cement render and painted surfaces. These surfaces are difficult to clean, and repeated chemical and wet-abrasive blasting damages the surfaces and leaves unsightly markings.

Anti-graffiti coatings are recommended to be applied to exposed surfaces that utilise lower graffiti resistant substrates. These coatings facilitate subsequent graffiti removal. They act as a barrier between the graffiti marking agent and the substrate preventing penetration into pores and firm attachment of the markings to the surface. These coatings are available in both clear and pigmented coatings applied in two or more coats with some available with a priming sealer. Anti-graffiti coatings are either permanent long-life coatings that provide protective layer that can withstand repeated cleaning or temporary or sacrificial layer that gets partially or fully removed during cleaning.

Floors, walls, and ceilings must be constructed of solid materials.

Useful standards include AS 1580.408.5 (Adhesion), AS 1580.602.3 (Boller Test), AS 1627.1 (Cleaning), AS 1627.4 (Abrasive Blast Cleaning), AS 2311 (Painting of Buildings), AS 2700 (Standard Colours), and Australian Paint Approval Scheme (APAS) Specifications APAS 1441 (Permanent Graffiti Barrier), APAS 1442 (Temporary Graffiti Barrier and APAS 1443 (Graffiti Remover).

8.4.3 Bollards

The use of bollards as a tool for space management helps define pedestrian and vehicular zones, as well as public and private zones. Effective use of bollards prevents accidental or purposeful harm to pedestrians from vehicles. The markup in Annex A shows an effective use of bollards to create a safe pedestrian path and to protect pedestrians from errant vehicles.

Bollards should be spaced at 1.6 metre centres. This should prevent most cars sold in Australia from driving between them. They should be approximately 1 metre in height and include a reflective panel. The space between a bollard and building should allow for pedestrian movement (including people with disabilities). Bollards are prone to vandalism and to unauthorised removal particularly if there is an ardent desire for vehicle access to a location. They should have sufficient foundation strength to resist being pushed by a large 4x4 vehicle. Bollards should conform to AS/NZS 3845:2015.

It should be noted that the use of vehicle-rated landscaping (such as planters and concrete spheres) can be used instead of bollards, allowing architects to produce their safety benefits and encourage Territorial Reinforcement without damaging the site's aesthetics.

8.4.4 Ongoing Action

Even the most robust security strategy requires frequent action to upkeep. Maintenance and ongoing security actions should be governed by a set schedule with responsible parties and accountability in-built. A Security Risk Register should work in conjunction with ongoing management of the site and appropriate security responses should be generated based on the type of events that are recorded as issues. It is recommended that all communications, custodial and management staff for the buildings should undergo police checks before being allowed to work on-site. This must be followed by security inductions and training to ensure they are aware of the upkeep of security at the site, both in terms of how security measures work and how they are to upkeep security operationally.

8.5 Activity Support

Maximising the safety and security of the proposed storage facility can also benefit from more intangible approaches to supporting the space. Second Generation 'Social' principles of CPTED can and should be explored here to encourage an environment that is safer through the development of a community, centred on the site.

8.5.1 Social Cohesion

Social cohesion involves nurturing an environment where there exists a mutual respect and appreciation of the similarities and differences between people and groups within a community. A socially cohesive community values diversity shares a common vision and a sense of belonging and works to develop positive relationships between people from different backgrounds.

8.5.2 Community Connectivity

Community connectivity involves partnerships within the community. These can be formal and informal, with businesses, community organisations and other potential user groups included. This connectivity can help to encourage and maintain community self-policing by encouraging a broader range of parties to value the site and its wellbeing, maintenance and upkeep, freedom from crime, and so on.

8.5.3 Community Culture

This is present when users and user groups come together and share a sense of place and partly explains why they can display territoriality. Building a community culture around significant events and people builds community investment and appreciation. Individuals who value the spaces in their community are naturally less likely to commit crimes which damage or degrade these spaces and will also feel as though they have dedicated areas to engage and participate – a lack of which can also contribute to criminal intent.

8.5.4 Threshold Capacity

Threshold capacity relates to neighbourhoods as ecosystems with a finite carrying capacity for certain activities and land uses. This threshold capacity is recognised and managed to maintain the local community ecosystem by promoting human-scale and pedestrian-oriented land uses and activities. By appropriately managing and curating the use of spaces for certain activities, site management can determine which kind of community engagement is important.

8.5.5 Community Guardianship

As alluded to in Section 8.5.2, the goal of this is to establish a community of individuals and groups who feel appreciated and engaged with the site and the activities which regularly occur there.

8.5.6 Developing a Management Strategy – Community Guardianship

Space and Activity Management strategies are an important way to develop and maintain natural community control. Space management involves the formal supervision, control, and care of these spaces. All space, even well-planned and well-designed, needs to be effectively used and maintained to maximise community safety. Places that are infrequently used are commonly abused. There is a high correlation between urban decay, fear of crime and avoidance behaviour. Developing

Community Guardianship ensures that community members will fight this decay and become more likely to not only commit less crime, but also stand up to those committing any. Therefore, we would strongly encourage site management to develop an operational management plan for fostering community guardianship. Importantly, appreciation of the space and a feeling of security will promote usage and drive business.

8.6 Site hardening

8.6.1 Errant Vehicles

Bollards and other landscaping measures can be utilised to control vehicle approach speed and paths in a manner that minimises the capacity to cause damage. The use of bollards is standard practice for pedestrian and vehicular shared zones such as near lift lobbies in the basement carpark; increasing the efficacy of bollards to higher impact standards and covering a wider area with this is recommended. Vehicle rated planters may also be used to ensure the aesthetic profile of the site is unaffected.

8.6.2 Emergency Management Planning

In addition to static security measures, site hardening relies on a critical human factor in order to be truly effective. Knowing how to act and what to do in the event of an emergency is a vital component that can save lives. A suitable emergency management plan is recommended to be developed for the site.

8.7 Graffiti Management Plan

8.7.1 Graffiti Deterrent

Graffiti vandalism can be minimised by using anti-graffiti material on the building, windows and fencing as outlines in Section 8.4.2. Harsh landscaping surrounding the building can help deter vandalism by preventing vandals from approaching the sides of the building. Additional security measures such as security lighting and cameras can be used as a deterrent.

Graffiti vandalism can be minimised through a comprehensive approach integrating anti-graffiti materials, strategic landscaping, and security measures. Utilising anti-graffiti materials on building, windows, and fencing, as outlined in Section 8.4.2, facilitates easy paint removal. Strategic landscaping, particularly the implementation of harsh vegetation, serves as a natural barrier, physically deterring vandals from accessing building sides. Additional security measures, such as security lighting and cameras, illuminate potential blind corners. Regular maintenance and review of these strategies ensure their continued effectiveness and responsiveness to changing graffiti vandalism patterns.

8.7.2 Graffiti Removal

In the event of graffiti vandalism, all stakeholders must notify management. The relevant authorities should promptly remove the damages and create an incident register log with information on location and magnitude of vandalism. All graffiti must be removed within 48 hours of discovery. An annual review of any "management agreement" for the removal of graffiti to ensure the property is maintained at its optimum level can be undertaken. Landscaping should be maintained to minimise the potential of graffiti attacks. Refer to Table **8-1** for relevant activities.

Table 8-1 Graffiti Management activities

Activity	Description	Frequency
Graffiti Monitoring	Regular patrols to identify new graffiti.	Daily
Graffiti Reporting	Documenting instances of graffiti, including photographs and location details.	As needed
Graffiti Removal	Using appropriate methods to remove graffiti without damaging surfaces.	Within 48 hours of reporting
Preventive Measures	Installation of anti-graffiti coatings, surveillance cameras, or improved lighting as outlined in Section 8.2.1, 0 and 8.4.2.	As needed
Law Enforcement Liaison	Working with local law enforcement to report and track graffiti incidents.	As needed

9.0 Conclusions

A Crime Statistical Review and Crime Prevention Through Environmental Design (CPTED) review was conducted for 896 Woodville Road, Villawood. The mixed-use development is in a residential area with passive surveillance opportunities.

It is recommended that adequate security lighting, video surveillance and access control methods are implemented to the necessary areas outlined throughout this report and in Annex A. A specific focus was placed on blind spots and the lack of effective security surveillance in these areas.

Recommendations for electronic access control and better surveillance using CCTV and security lighting were made for the waste storage and collection room. Wayfinding signage is a major recommendation for the site, to help residents, retail owners, retail staff, and visitors to effectively navigate the site, and has been included in the markup in Annex A.

Security recommendations were made to help reduce the risk of malicious damage to property, specifically graffiti damage. As per DA requirements, graffiti mitigation was highlighted in section 8.0 of this report in the form of anti-graffiti material and security measures like security lighting and CCTV coverage.

Annex A – CPTED Mark-up of Architectural Plans

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LEGEND

ISSUE	AMENDMENTS	DATE
Rev A	Draft CPTED Markup	22-Oct-2024
Rev B	CPTED Markup	16-Dec-2024

PROJECT:
890 Woodville Rd,
Villawood NSW

ARCHITECT:
Tony Owen Partners
Level 2, 12-16 Queen Street,
Chippendale NSW

LOTECONSULTING
Fire Safety | Security
Making the world safe & secure

Lote Consulting Pty Ltd
ABN: 75 166 888 544
The Miramar
Suite 270, Level 1,
398 Pitt Street,
Sydney NSW 2000
Email: security@loteconsulting.com

TITLE: CPTED Markup

PREPARED: AH	DATE: 16-Dec-2024	DO NOT SCALE		
CHECKED: MM	DATE: 16-Dec-2024	SECURITY CONSULTANCY LICENSE 409836153		
APPROVED: MM	DATE: 16-Dec-2024	DOCUMENT NO. 390910-087-000	ISSUE: Rev B	VERSION: 0

ARCHITECTURAL DRAWING SET

ISSUE DATE (FOR DA SUBMISSION): SEPTEMBER 2024

DRAWING NO - DRAWING TITLE

A000 - Cover sheet

Site Analysis

A001 - Location Plan
A002 - Site Photos 1
A003 - Site Photos 2

Survey Drawings by Urbanex Surveyors

A004 - Site Plan
A005 - Site Analysis
A006 - Setback Concept Diagram
A007 - Setback Diagram - BASEMENT
A008 - Setback Diagram - GF
A009 - Setback Diagram - L1
A010 - Setback Diagram - L2-3
A011 - Setback Diagram - L4-7
A012 - Setback Diagram - L8-10

Floor Plans
scale 1:100@A3; 1:200@A1

A100 - B2-3 Floor Plan
A101 - B1 Floor Plan
A102 - Ground Floor Plan
A103 - L1 Plan
A104 - L2-L3 Plan
A105 - L4-L7 Plan
A106 - L8-L9 Plan
A107 - L10 Plan
A108 - Roof Plan

Elevations
scale 1:250@A3; 1:125@A1

A200 - Building A - East Elevation
A201 - Building A - West Elevation
A202 - Building A - North Elevation
A203 - Building A - South Elevation
A204 - Building B - East Elevation
A205 - Building B - West Elevation
A206 - Building B - North Elevation
A207 - Building B - South Elevation

Sections

A300 - Section 1-1
A301 - Section 2-2
A302 - Section 3-3
A303 - Ramp Section

Adaptable Units

A400 - Adaptable Units 1
A401 - Adaptable Units 2

Silver Level Units

A405 - Silver Unit

Diagrams

A410 - Communal Open Space Diagram
A411 - Landscape Diagram
A412 - Deep Soil Landscape Diagram
A413 - Site Coverage Diagram
A414 - Ventilation Diagram
A415 - C.O.S. Solar Diagram
A416 - On-going Waste Management Plan
A417 - Construction Waste Management Plan

FSA Calculation

A500 - Ground Floor FSA
A501 - L1 FSA
A502 - L2-3 FSA
A503 - L4-7 FSA
A504 - L8-9 FSA
A505 - L10 FSA

Solar Diagram

A600 - Solar Analysis 21st June
A601 - Solar Analysis 21st June
A610 - Solar Angle Diagram

Shadow Diagram

A620 - Shadow Diagrams 21st June
A621 - Shadow Diagrams 21st June

Photomontage

A700 - Perspective 1
A701 - Perspective 2

Area Schedule

A800 - Area Schedule & Unit Mix Schedule
A801 - Unit Breakdown Schedule

Material Finishes

A900 - External Finishes Schedule

890 WOODVILLE ROAD, VILLAWOOD, NSW 2163
ZONING: B2 – LOCAL CENTER-SHOP TOP HOUSING

SITE AREA	4135.1 m^2
HEIGHT (PERMISSIBLE) (AFFORABLE HOUSING SCHEME)	35.1 m(27.0m LEP X130%)
HEIGHT (PROPOSED)	35.1 m
FSA (PERMISSIBLE)	N/A
FSA (PROPOSED)	5.1:1
LAND USE	B2- LOCAL CENTER
TOTAL CAR SPACES REQUIRED	259
TOTAL CAR SPACES PROVIDED	246
RESIDENTIAL PARKING	
COMMERCIAL PARKING	

890 WOODVILLE ROAD, VILLAWOOD DEVELOPMENT APPLICATION

tony owen ptnrs

2.1 Site Description

The subject site is located south of Villawood station; south of new Villawood CBD precinct. A piano store and a factory with its loading facilities, and two detached dwellings are in the subject site. A fuel station is located across the woodville road next to the site. Aldi is North of the site across the Villawood Rd.

TOWN CENTER LOCATION PLAN

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

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Legend

DRAWING LABEL

LOCATION PLAN

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2, 15-17 Lime Street, King Street Sydney NSW 2000
T (02) 9966 3900
F (02) 9966 3910
sydney@tonyowen.com.au

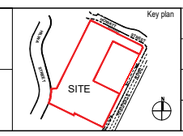
Project

WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address

896 Woodville Road, Villawood 2163 NSW

Key plan



Scale 1:1000 @ A1 1:2000 @ A3 Date NOV 2024

0 5 10 15 20 25

Drawing title

LOCATION PLAN

Project no. 1051 Drawing no. A001

Drawn ZS, CK

Drawing status

DA SUBMISSION

2.2 Site Aerial Photo

The site is generally flat. The datum levels are measured higher on the southern corner at RL 23.34 and gradually fall to the north most corner of RL 21.90. The site is regular C shaped and its south-east side the longest frontage facing Woodville Rd sharing common boundaries with adjacent fuel station.

CURRENT SITE AERIAL VIEW

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
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C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
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DRAWING LABEL

SITE AERIAL VIEW

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2
23-16 Queen Street
Alexandria NSW 2015
P 0122 9698 3000
F 0122 9698 3010
E info@tonyowen.com.au

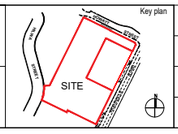
Project

WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan



Scale 1:1000 @ A1 1:2000 @ A3 Date NOV 2024

0 5 10 15 20 25

Drawing title

SITE AERIAL VIEW

Project no. 1051 Drawing no. A002

Drawn ZS, CK

Drawing status

DA SUBMISSION

FAIRFIELD CITY DCP
(Residential Flat Buildings and Shop Top Housing Parking Rate):

1 space per dwelling		= 148
1 visitor space per 4 dwellings	= 148 / 4	= 37
Retail & Cafe		= 61

247 PARKING SPACES IN TOTAL REQUIRED

PROPOSED PARKING **257 PARKING SPACES**

incl. 60 Retail Parking Spaces
1 Accessible Retail Parking Spaces
36 Visitor Parking Spaces
1 Accessible Visitor Parking Spaces
144 Residential Parking Spaces
15 Accessible Residential Parking Spaces
1 Residential Car Wash Bay

Use of bollards to create a safe pedestrian path and to protect pedestrians from errant vehicles. Bollards should be spaced at 1.6 metre centres. This should prevent most cars sold in Australia from driving between them.

They should be approximately 1 metre in height and include a reflective panel. The space between a bollard and building should allow for pedestrian movement (including people with disabilities).

Video surveillance coverage of the basement car park area is recommended.

Oncoming vehicle alarm to ensure vehicular safety

Mirrors to be used to create sight lines around corners

Bollards should be used to segregated vehicle traffic from areas where pedestrians are likely to congregate

Hidden areas should be covered by video surveillance and have security lighting

Car park will use light colours and appropriate motion-activated lighting will ensure adequate illumination.

Lift lobbies should be protected from accidental or malicious vehicle damage and monitored with video surveillance and vandal proof security lighting.

Video surveillance within the lift lobby and the lift car is necessary.

Lift access control systems to limit access to residential parking and residential floors

Wayfinding signage is recommended in all lift lobbies providing directions and specifying what areas each lift provides access to.

Lift lobbies should be protected by using bollards to protect pedestrians from errant vehicles

All utility rooms should be secured with locks

BUILDING A(NORTH)

BUILDING B(SOUTH)

BASEMENT
100 CAR PARKING SPACES
INCL. 93 RESIDENTIAL PARKING SPACES
7 RESIDENTIAL ACCESSIBLE PARKING SPACES
78 STORAGES

PUMP HOLDING TANK BELOW

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
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C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Legend

DRAWING LABEL

B3 FLOOR PLAN

Client

ABA PTY. LTD.

Project

WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address

896 Woodville Road, Villawood 2163 NSW

Key plan

SITE

Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title B3 FLOOR PLAN

Project no. 1051 Drawing no. A100

Drawn ZS, CK

Drawing status DA SUBMISSION

FAIRFIELD CITY DCP
(Residential Flat Buildings and Shop Top Housing Parking Rate):

1 space per dwelling		= 148
1 visitor space per 4 dwellings	= 148 / 4	= 37
Retail & Cafe		= 61

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1 Accessible Retail Parking Spaces
36 Visitor Parking Spaces
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144 Residential Parking Spaces
15 Accessible Residential Parking Spaces
1 Residential Car Wash Bay

Instead of using a boom gate, a roller shutter is recommended as a more effective means of separating the retail section of the car park from the residential section.

Car park will use light colours and appropriate motion-activated lighting will ensure adequate illumination.

Include timer based lighting and/or motion sensor lighting systems

Lift lobbies should be protected by using bollards to protect pedestrians from errant vehicles

Use of bollards to create a safe pedestrian path and to protect pedestrians from errant vehicles. Bollards should be spaced at 1.6 metre centres. This should prevent most cars sold in Australia from driving between them.

They should be approximately 1 metre in height and include a reflective panel. The space between a bollard and building should allow for pedestrian movement (including people with disabilities).

Video surveillance within the lift lobby and the lift car is necessary.

Lift access control systems to limit access to residential parking and residential floors

Wayfinding signage is recommended in all lift lobbies providing directions and specifying what areas each lift provides access to.

Ensure the inclusion of safe parking and pedestrian-aware signage in the car park to reduce the likelihood or accidents.

BASE
95 CAR PARKING SPACES
INCL. 36 VISITOR PARKING SPACES
1 VISTOR ACCESSIBLE PARKING SPACES
50 RESIDENTIAL PARKING SPACES
8 RESIDENTIAL ACCESSIBLE PARKING SPACES
1 RESIDENTIAL CAR WASH BAY
73 STORAGES

BUILDING A(NORTH)

BUILDING B(SOUTH)

LAND TO BE DEDICATED TO COUNC

BENCHMARK SCHEME NOT PA

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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B2 FLOOR PLAN

Client: ABA PTY. LTD.

Architects: tony owen ptnrs, Level 2, 75-79 Alexander Street, Crows Nest NSW 2065, T (02) 9906 2070, F (02) 9906 2010, E tony@owenpt.com.au

Project: WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT
Project address: 896 Woodville Road, Villawood 2163 NSW

Key plan: SITE

Scale 1:125 @ A1 1:250 @ A3 | Date NOV 2024
Drawing title: B2 FLOOR PLAN
Project no. 1051 | Drawing no. A101
Drawn ZS, CK
Drawing status: DA SUBMISSION

FAIRFIELD CITY DCP
(Residential Flat Buildings and Shop Top Housing Parking Rate):

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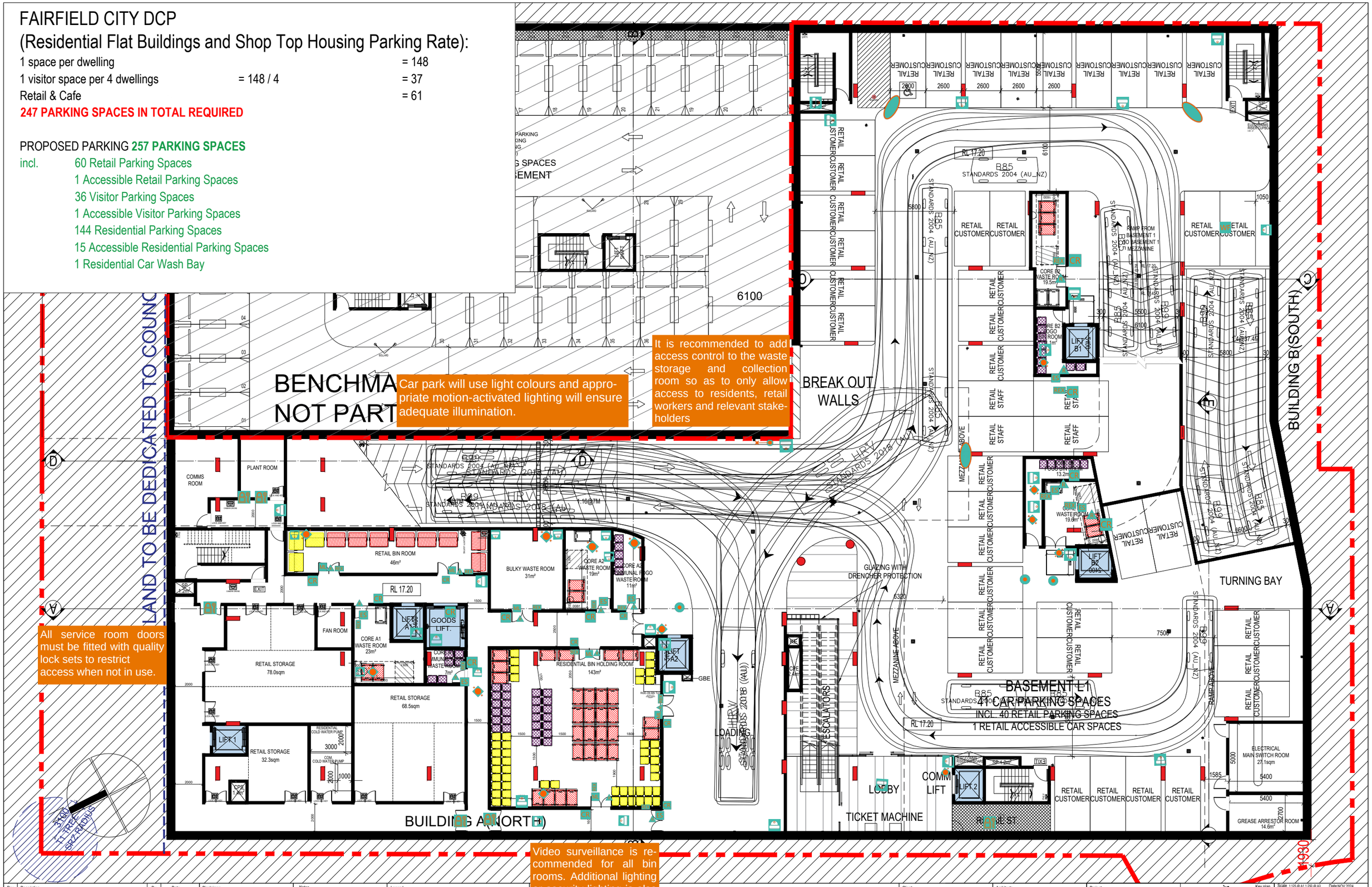
- 1 Accessible Visitor Parking Spaces
- 144 Residential Parking Spaces
- 15 Accessible Residential Parking Spaces
- 1 Residential Car Wash Bay



Car park will use light colours and appropriate motion-activated lighting will ensure adequate illumination.

It is recommended to add access control to the waste storage and collection room so as to only allow access to residents, retail workers and relevant stakeholders

All service room doors must be fitted with quality lock sets to restrict access when not in use.

Video surveillance is recommended for all bin rooms. Additional lighting or security lighting is also recommended.

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

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Legend

B1 FLOOR PLAN

Client: ABA PTY. LTD.

Architects: tony owen ptnrs

Project: WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address: 896 Woodville Road, Villawood 2163 NSW

Key plan: SITE

Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title: B1 FLOOR PLAN

Project no. 1051 Drawing no. A102

Drawn ZS, CK

Drawing status: DA SUBMISSION

FAIRFIELD CITY DCP

(Residential Flat Buildings and Shop Top Housing Parking Rate):

1 space per dwelling		= 148
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36 Visitor Parking Spaces
1 Accessible Visitor Parking Spaces
144 Residential Parking Spaces
15 Accessible Residential Parking Spaces
1 Residential Car Wash Bay

BENCHMARK SCHEME
NOT PART OF THIS DA

BASEMENT L1 MEZZANINE
257 CAR PARKING SPACES

LAND TO BE DEDICATED TO COUNCIL

BUILDING A(NORTH)

BUILDING B(SOUTH)

RAMP B 1:6.5@14M

RAMP A 1:6@2.0M 1:4@37.4M

VOID BELOW

CARPARK SUPPLY TRANSFER DUCT

FIRE HYDRANT TANK 71m²

FIRE HYDRANT & SPRINKLER PUMP ROOM 72m²

PRESSURE REDUCE VALVE ROOM

SPRINKLER TANK 71m³

RETAIL STORAGE 121m²

RETAIL STAFF

RETAIL CUSTOMER

PLANT ROOM

LIFT A1 / GOODS LIFT.

LIFT A2

LIFT B1

LIFT B2

LIFT 1

LIFT 2

CORE A1 WASTE CHUTE

CORE A2 WASTE CHUTE

CORE B1 WASTE CHUTE

CORE B2 WASTE CHUTE

GBE

CPS 1.4m²

SP 1.2m²

RL 19.80

HRV STANDARDS 2018 (AU)

B85 STANDARDS 2004 (AU_NZ)

B99 STANDARDS 2004 (AU_NZ)

3330

3100 Ø TT FREE SPZ RADIUS

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A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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BEFORE CARRYING OUT ANY WORK ENSURE THAT THE DRAWINGS USED CARRY THE LATEST AMENDMENT No.

Plot Style

TONYA_A_BW.ctb @ DA(3D)

Notes

DRAWINGS MADE TO A LARGER SCALE AND THOSE SHOWING PARTICULAR DETAIL OF WORKS SHALL TAKE PRECEDENCE OVER DRAWINGS MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES

WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURED AND SCALED DIMENSIONS. THE FIGURED DIMENSIONS SHALL PREVAIL

BUILDER TO CHECK ALL SITE DIMENSIONS PRIOR TO FABRICATION OF FITMENTS

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Legend

DRAWING LABEL

B1 MEZZ FLOOR PLAN

Client

ABA PTY. LTD.

Architects

tony owen ptnrs
Unit 4
15-16 Dunn Street
Thornleigh NSW 2120
P (02) 9980 3855
F (02) 9980 3855
E tonyowenptnrs@gmail.com

Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan

SITE

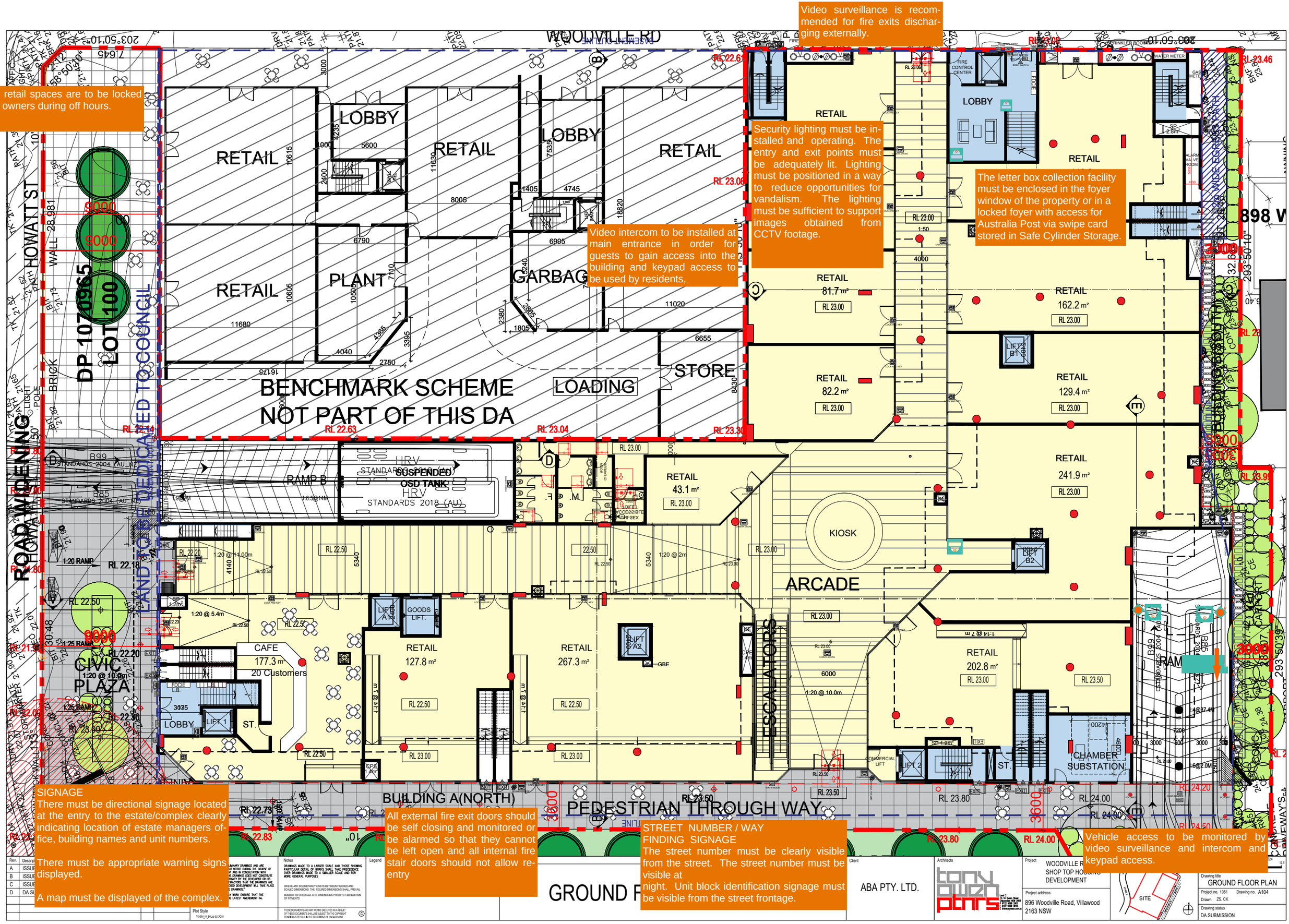
Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title
B1 MEZZ FLOOR PLAN

Project no. 1051 Drawing no. A103

Drawn ZS, CK

Drawing status
DA SUBMISSION



Video surveillance is recommended for fire exits discharging externally.

All retail spaces are to be locked by owners during off hours.

Security lighting must be installed and operating. The entry and exit points must be adequately lit. Lighting must be positioned in a way to reduce opportunities for vandalism. The lighting must be sufficient to support images obtained from CCTV footage.

The letter box collection facility must be enclosed in the foyer window of the property or in a locked foyer with access for Australia Post via swipe card stored in Safe Cylinder Storage.

Video intercom to be installed at main entrance in order for guests to gain access into the building and keypad access to be used by residents,

SIGNAGE
There must be directional signage located at the entry to the estate/complex clearly indicating location of estate managers office, building names and unit numbers.

There must be appropriate warning signs displayed.

A map must be displayed of the complex.

All external fire exit doors should be self closing and monitored or be alarmed so that they cannot be left open and all internal fire stair doors should not allow re-entry

STREET NUMBER / WAY FINDING SIGNAGE
The street number must be clearly visible from the street. The street number must be visible at night. Unit block identification signage must be visible from the street frontage.

Vehicle access to be monitored by video surveillance and intercom and keypad access.

GROUND F

Client: ABA PTY. LTD.

Architects: tony owen ptnrs

Project: WOODVILLE R SHOP TOP HOUSING DEVELOPMENT

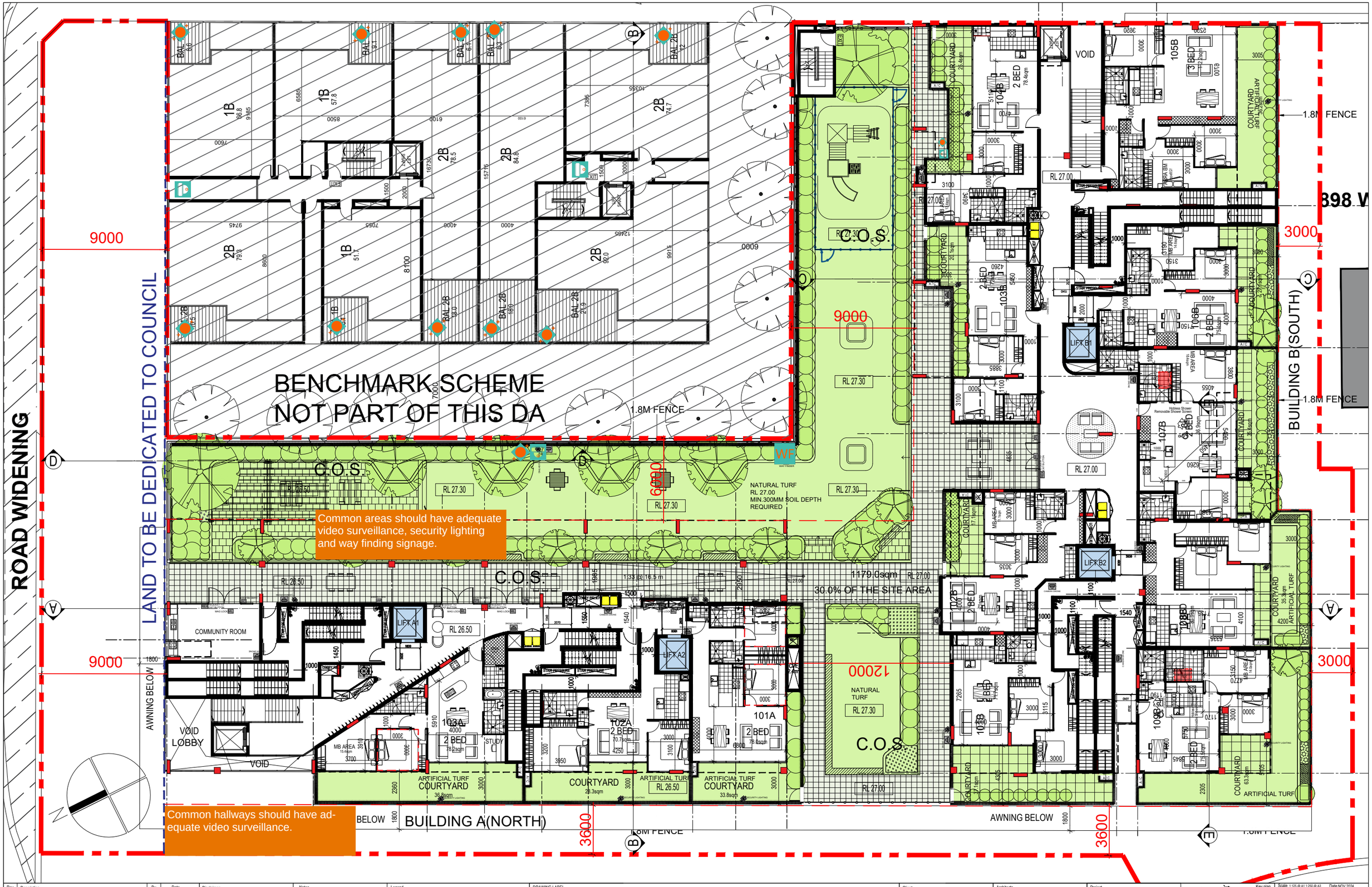
Project address: 896 Woodville Road, Villawood 2163 NSW

Drawing title: GROUND FLOOR PLAN

Project no. 1051 Drawing no. A104

Drawn ZS, CK

Drawing status: DA SUBMISSION



Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

Disclaimer

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Plot Style

TONDN_A4_BW.ctb @ CA255

Notes

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Legend

DRAWING LABEL

L1 FLOOR PLAN

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2
15-18 Queen Street
Chippendale NSW 2008
P 0522 9999 2000
F 0522 9999 2010
E info@tonyowen.com.au

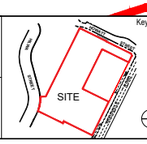
Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan



Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title

L1 FLOOR PLAN

Project no. 1051 Drawing no. A105

Drawn ZS, CK

Drawing status

DA SUBMISSION

BENCHMARK SCHEME
NOT PART OF THIS DA

A209 PLAN

LAND TO BE DE

COUNCIL

BUILDING A(NORTH)

BUILDING B(SOUTH)

9000

6000

12000

Sliding doors and windows adjacent to balconies must be re-enforced with adequate locks to restrict unauthorised access.

Balcony must not have footholds and not act as a natural ladder.

The balcony must have a sensor light to automatically activate when motion is detected.

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

Disclaimer

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Plot Style

TONKIN_M_BW.ctb @ CA2016

Notes

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Legend

DRAWING LABEL

L2-3 FLOOR PLAN

Client

ABA PTY. LTD.

Architects

tony owen ptnrs
Level 2
75-79 Spem Street
Chippendale NSW 2008
T 9332 3600
F 9332 3322
E info@tonyowen.com.au

Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan

SITE

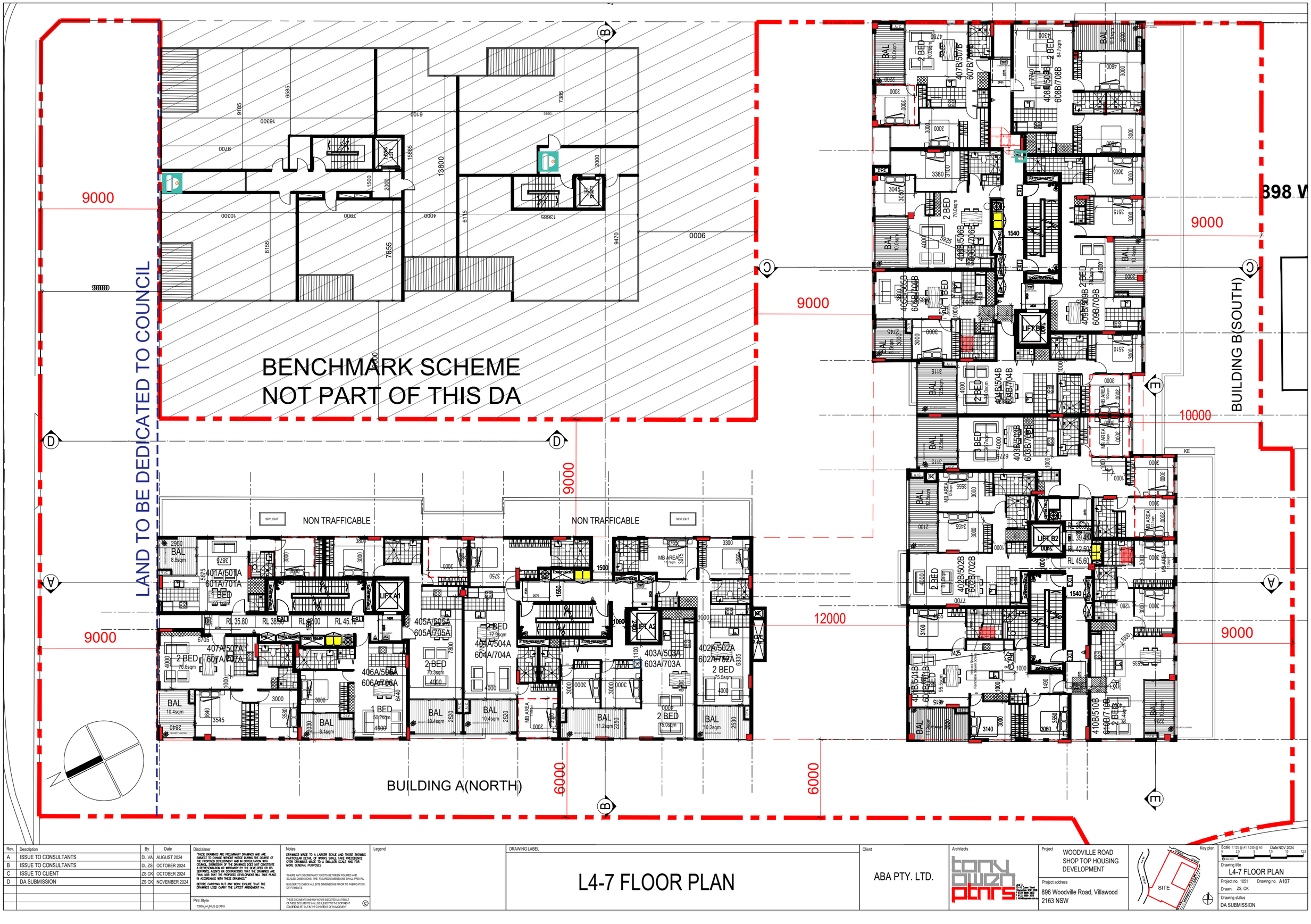
Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title
L2-3 FLOOR PLAN

Project no. 1051 Drawing no. A106

Drawn ZS, CK

Drawing status
DA SUBMISSION



Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

TONDM_M_BW.ctb @ CA2016

Notes

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Legend

DRAWING LABEL

L4-7 FLOOR PLAN

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2, 75-79 Egan Street, Newcastle NSW 2300
P 0422 666 305
F 4922 6666 3355
E info@tonyowen.com.au

Project

WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address

896 Woodville Road, Villawood 2163 NSW

Key plan

SITE

Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title L4-7 FLOOR PLAN

Project no. 1051 Drawing no. A107

Drawn ZS, CK

Drawing status DA SUBMISSION

BENCHMARK SCHEME
NOT PART OF THIS DA

LAND TO BE DEDICATED TO COUNCIL

BUILDING A(NORTH)

BUILDING B(SOUTH)

NON TRAFFICABLE

TERRACE
L8 ONLY

9143
9000
12000
6000
15260
14440
15185

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

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Legend

DRAWING LABEL

L8-9 FLOOR PLAN

Client

ABA PTY. LTD.

Architects

tony owen ptnrs
Level 2, 55-57 Bowes Street, Phillip, ACT 2606
T 6122 4888 (NSW)
T 6162 0888 (ACT)
E info@tonyowen.com.au

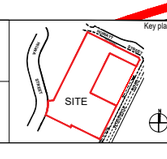
Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan



Scale 1:125 @ A1 1:250 @ A3
Date NOV 2024

Drawing title
L8-9 FLOOR PLAN

Project no. 1051
Drawing no. A107

Drawn ZS, CK

Drawing status
DA SUBMISSION

ROAD WIDENING

LAND TO BE DEDICATED TO COUNCIL

BENCHMARK SCHEME
NOT PART OF THIS DA

NON TRAFFICABLE

NON TRAFFICABLE

BUILDING A(NORTH)

BUILDING B(SOUTH)

TERRACE BELOW

NON TRAFFICABLE

1001A
3 BED+S
101.7sqm

1002A
2 BED+S
117.9sqm

1003A
3 BED
99.6sqm

1004A
2 BED
76.1 sqm

1005A
3 BED
110.1sqm

1006A
3 BED
93.1sqm

LIFT A1

LIFT A2

LIFT B1

LIFT B2

H.W.P

STUDY

MB AREA

BAL

C.O.S
250.9sqm

NATURAL TURF
RL 55.25
MIN 300MM SOIL DEPTH
REQUIRED

PERGOLA ABOVE

RL 54.40

RL 55.25

RL 54.90

9143

9000

12000

14440

14500

15360

6000

898 W

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style
TONDM_ALLBRUSH @ CA2016

Notes

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Legend

DRAWING LABEL

L10 FLOOR PLAN

Client

ABA PTY. LTD.

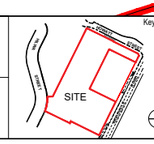
Architects

tony owen ptnrs
Level 2
75-79 Dunn Street
Bondi Junction NSW 2022
T 9322 3666 F 9322 3355
E info@tonyowen.com.au

Project
WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address
896 Woodville Road, Villawood
2163 NSW

Key plan



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0 50 100 150 200 250 mm

Drawing title
L10 FLOOR PLAN

Project no. 1051 Drawing no. A109

Drawn ZS, CK

Drawing status
DA SUBMISSION

BENCHMARK SCHEME
NOT PART OF THIS DA

LAND TO BE DEDICATED TO COUNCIL

CIVIC PLAZA

BUILDING A(NORTH)

BUILDING B(SOUTH)

PEDESTRIAN THROUGH WAY

NATURAL TURF
RL 27.00
MIN.300MM SOIL DEPTH
REQUIRED

1179.0sqm
30.0% OF THE SITE AREA

SOLAR PANELS

ARTIFICIAL TURF
COURTYARD
36.8sqm

COURTYARD
28.3sqm

ARTIFICIAL TURF
COURTYARD
13.8sqm

COURTYARD
35.5sqm
ARTIFICIAL TURF

COURTYARD
63.3sqm
ARTIFICIAL TURF

GLAZING WITH
DRENCHER PROTECTION

1:20 RAMP

1:25 RAMP

1:20@7M

1:20@6M

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style
TONKIN_M_BW.ctb @ CAD8

Notes

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Legend

DRAWING LABEL

ROOF PLAN

Client
ABA PTY. LTD.

Architects
tony owen ptnrs
Unit 2
15-19 Bowe Street
Gladesville NSW 2099
T 9722 9999 2000
F 9722 9999 2010
E info@tonyowen.com.au

Project
WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address
896 Woodville Road, Villawood
2163 NSW

Key plan
SITE

Scale 1:125 @ A1 1:250 @ A3
Date NOV 2024

Drawing title
ROOF PLAN

Project no. 1051
Drawing no. A110

Drawn ZS, CK

Drawing status
DA SUBMISSION

EXTERNAL FINISHES LEGEND

1. FACE BRICKWORK - AUSTRAL EVERYDAY LIFE RETREAT OR SIMILAR;
2. FACE BRICKWORK - AUSTRAL LA PALOMA MIRO OR SIMILAR;
3. FACE BRICKWORK - AUSTRAL BURLESQUE SUBLIME OR SIMILAR;
4. PAINTED PRECAST CONCRETE - DULUX TIN CAT SG6F2 OR SIMILAR;
5. PAINTED PRECAST CONCRETE DULUX GRID SG6D7 OR SIMILAR;
6. PAINTED PRECAST CONCRETE DULUX VIVID WHITE SW1G1 OR SIMILAR;
7. PAINTED SLAB EDGE - DULUX GRID SG6D7 OR SIMILAR;
8. PAINTED SLAB EDGE - DULUX TIN CAT SG6F2 OR SIMILAR;
9. PAINTED SLAB EDGE - DULUX VIVID WHITE SW1G1 OR SIMILAR;
10. METAL CLADDING - COLORBOND SHALE GREY OR SIMILAR;
11. METAL CLADDING - COLORBOND WOODLAND GREY OR SIMILAR;
12. METAL CLADDING - COLOURBOND DOVER WHITE OR SIMILAR;
13. POWDER COATED ALUMINIUM FRAME GLASS SLIDING DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
14. POWDER COATED ALUMINIUM FRAME WINDOW - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
15. POWDER COATED ALUMINIUM FRAME GLASS BALLUSTRADE - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
16. POWDER COATED ALUMINIUM ROLLER DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
17. POWDER COATED AWNING FASCIA - DULUX VIVID WHITE SW1G1 OR SIMILAR;
18. ALUMINIUM FRAMED GLASS LOUVERS;

There must be a 'Rapid Removal' policy for graffiti. There must be graffiti resistant materials utilised in the design of the building. For example, painted on masonry garden walls, fencing.

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
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D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

TONDA_ALLRUN @ DA36

Notes

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Legend

DRAWING LABEL

WEST ELEVATION - BUILDINGS A&B

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2
15-19 Queen Street
Chippendale, NSW 2008
T (02) 9698 2555
F (02) 9698 2666
E info@tonyowen.com.au

Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan

Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title
WEST ELEVATION-BUILDING A&B

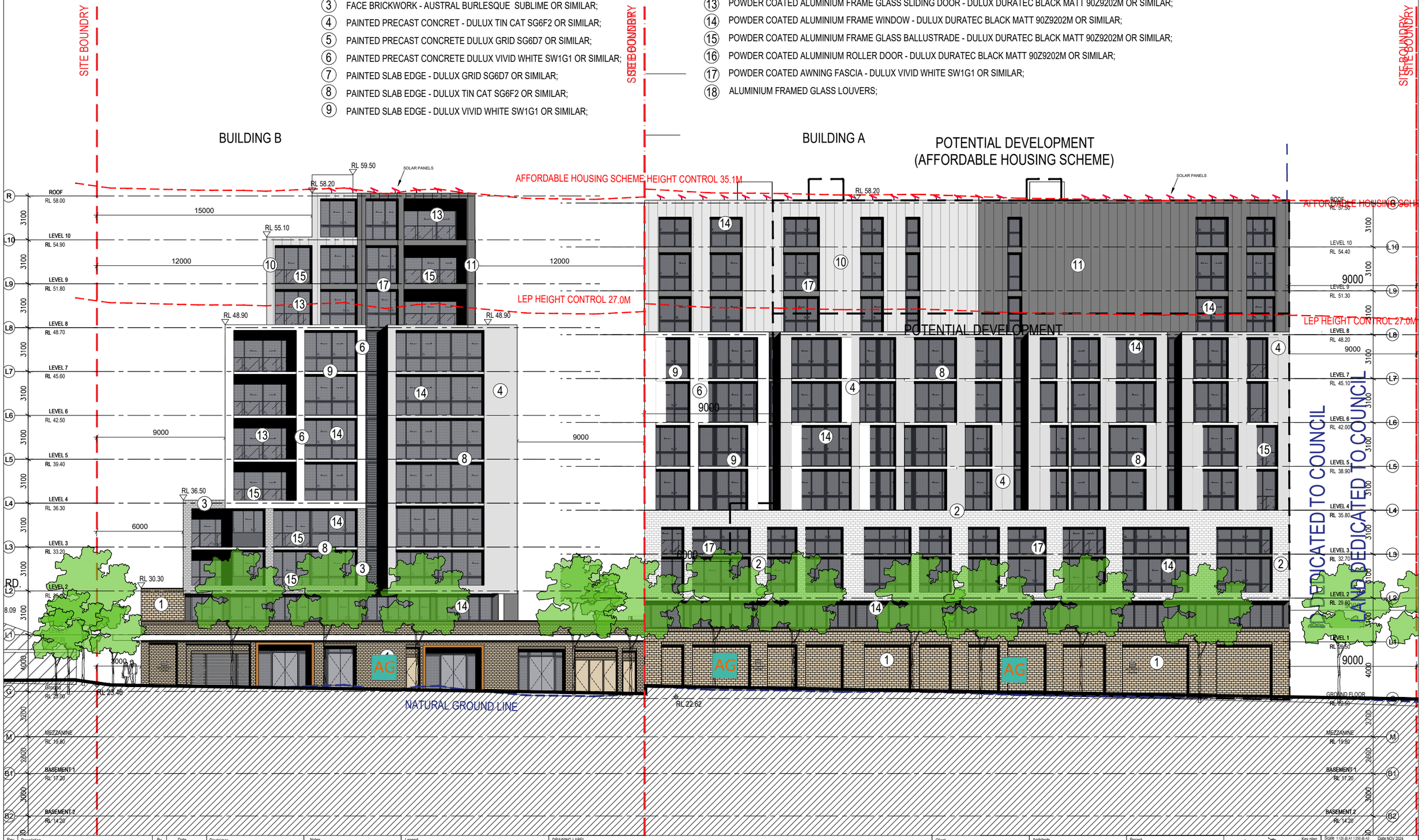
Project no. 1051 Drawing no. A200

Drawn ZS, CK

Drawing status
DA SUBMISSION

EXTERNAL FINISHES LEGEND

1. FACE BRICKWORK - AUSTRAL EVERYDAY LIFE RETREAT OR SIMILAR;
2. FACE BRICKWORK - AUSTRAL LA PALOMA MIRO OR SIMILAR;
3. FACE BRICKWORK - AUSTRAL BURLESQUE SUBLIME OR SIMILAR;
4. PAINTED PRECAST CONCRET - DULUX TIN CAT SG6F2 OR SIMILAR;
5. PAINTED PRECAST CONCRETE DULUX GRID SG6D7 OR SIMILAR;
6. PAINTED PRECAST CONCRETE DULUX VIVID WHITE SW1G1 OR SIMILAR;
7. PAINTED SLAB EDGE - DULUX GRID SG6D7 OR SIMILAR;
8. PAINTED SLAB EDGE - DULUX TIN CAT SG6F2 OR SIMILAR;
9. PAINTED SLAB EDGE - DULUX VIVID WHITE SW1G1 OR SIMILAR;
10. METAL CLADDING - COLORBOND SHALE GREY OR SIMILAR;
11. METAL CLADDING - COLORBOND WOODLAND GREY OR SIMILAR;
12. METAL CLADDING - COLOURBOND DOVER WHITE OR SIMILAR;
13. POWDER COATED ALUMINIUM FRAME GLASS SLIDING DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
14. POWDER COATED ALUMINIUM FRAME WINDOW - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
15. POWDER COATED ALUMINIUM FRAME GLASS BALLUSTRADE - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
16. POWDER COATED ALUMINIUM ROLLER DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
17. POWDER COATED AWNING FASCIA - DULUX VIVID WHITE SW1G1 OR SIMILAR;
18. ALUMINIUM FRAMED GLASS LOUVERS;



Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

Notes

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Legend

DRAWING LABEL

EAST ELEVATION - BUILDINGS A&B

Client

ABA PTY. LTD.

Architects

tony owen ptnrs
Level 2, 15-19 Queen Street, Chippendale, NSW 2008
P (02) 9698 2063
F (02) 9698 3018
E info@tonyowen.com.au

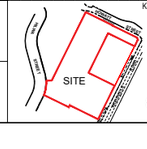
Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan



Scale 1:125 @ A1 1:250 @ A3
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Date NOV 2024

Drawing title
EAST ELEVATION-BUILDINGS A&B

Project no. 1051 Drawing no. A201

Drawn ZS, CK

Drawing status
DA SUBMISSION

EXTERNAL FINISHES LEGEND

1. FACE BRICKWORK - AUSTRAL EVERYDAY LIFE RETREAT OR SIMILAR;
2. FACE BRICKWORK - AUSTRAL LA PALOMA MIRO OR SIMILAR;
3. FACE BRICKWORK - AUSTRAL BURLESQUE SUBLIME OR SIMILAR;
4. PAINTED PRECAST CONCRET - DULUX TIN CAT SG6F2 OR SIMILAR;
5. PAINTED PRECAST CONCRETE DULUX GRID SG6D7 OR SIMILAR;
6. PAINTED PRECAST CONCRETE DULUX VIVID WHITE SW1G1 OR SIMILAR;
7. PAINTED SLAB EDGE - DULUX GRID SG6D7 OR SIMILAR;
8. PAINTED SLAB EDGE - DULUX TIN CAT SG6F2 OR SIMILAR;
9. PAINTED SLAB EDGE - DULUX VIVID WHITE SW1G1 OR SIMILAR;
10. METAL CLADDING - COLORBOND SHALE GREY OR SIMILAR;
11. METAL CLADDING - COLORBOND WOODLAND GREY OR SIMILAR;
12. METAL CLADDING - COLOURBOND DOVER WHITE OR SIMILAR;
13. POWDER COATED ALUMINIUM FRAME GLASS SLIDING DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
14. POWDER COATED ALUMINIUM FRAME WINDOW - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
15. POWDER COATED ALUMINIUM FRAME GLASS BALLUSTRADE - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
16. POWDER COATED ALUMINIUM ROLLER DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
17. POWDER COATED AWNING FASCIA - DULUX VIVID WHITE SW1G1 OR SIMILAR;
18. ALUMINIUM FRAMED GLASS LOUVERS;

BUILDING B

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

12HIDLM_PLRVJS @ CADS5

Notes

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Legend

DRAWING LABEL

SOUTH ELEVATION - BUILDING B

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2, 15-17 Queen Street Chatswood NSW 2067
T (02) 9906 3565
F (02) 9906 3910
E info@tonyowen.com.au

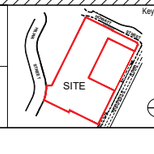
Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan



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Millimetres

Drawing title
SOUTH ELEVATION - BUILDING B

Project no. 1051 Drawing no. A203

Drawn ZS, CK

Drawing status
DA SUBMISSION

EXTERNAL FINISHES LEGEND

1. FACE BRICKWORK - AUSTRAL EVERYDAY LIFE RETREAT OR SIMILAR;
2. FACE BRICKWORK - AUSTRAL LA PALOMA MIRO OR SIMILAR;
3. FACE BRICKWORK - AUSTRAL BURLESQUE SUBLIME OR SIMILAR;
4. PAINTED PRECAST CONCRET - DULUX TIN CAT SG6F2 OR SIMILAR;
5. PAINTED PRECAST CONCRETE DULUX GRID SG6D7 OR SIMILAR;
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9. PAINTED SLAB EDGE - DULUX VIVID WHITE SW1G1 OR SIMILAR;
10. METAL CLADDING - COLORBOND SHALE GREY OR SIMILAR;
11. METAL CLADDING - COLORBOND WOODLAND GREY OR SIMILAR;
12. METAL CLADDING - COLOURBOND DOVER WHITE OR SIMILAR;
13. POWDER COATED ALUMINIUM FRAME GLASS SLIDING DOOR - DULUX DURATEC BLACK MATT 90Z9202M OR SIMILAR;
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17. POWDER COATED AWNING FASCIA - DULUX VIVID WHITE SW1G1 OR SIMILAR;
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C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style: TONERLM_ALLRUS @ DAC05

Notes

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Legend

DRAWING LABEL

NORTH ELEVATION - BUILDING B

Client: ABA PTY. LTD.

Architects: tony owen ptnrs, Level 2, 79 – 81 Acacia Road, Kirrawee NSW 2232, P (02) 9589 2500, F (02) 9589 3599, sydney@tonyowen.com.au

Project: WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address: 896 Woodville Road, Villawood 2163 NSW

Key plan: SITE

Scale 1:125 @ A1 1:250 @ A3 — Date NOV 2024

Drawing title: NORTH ELEVATION - BUILDING B

Project no. 1051 — Drawing no. A202

Drawn ZS, CK

Drawing status: DA SUBMISSION

EXTERNAL FINISHES LEGEND

1. FACE BRICKWORK - AUSTRAL EVERYDAY LIFE RETREAT OR SIMILAR;
2. FACE BRICKWORK - AUSTRAL LA PALOMA MIRO OR SIMILAR;
3. FACE BRICKWORK - AUSTRAL BURLESQUE SUBLIME OR SIMILAR;
4. PAINTED PRECAST CONCRETE - DULUX TIN CAT SG6F2 OR SIMILAR;
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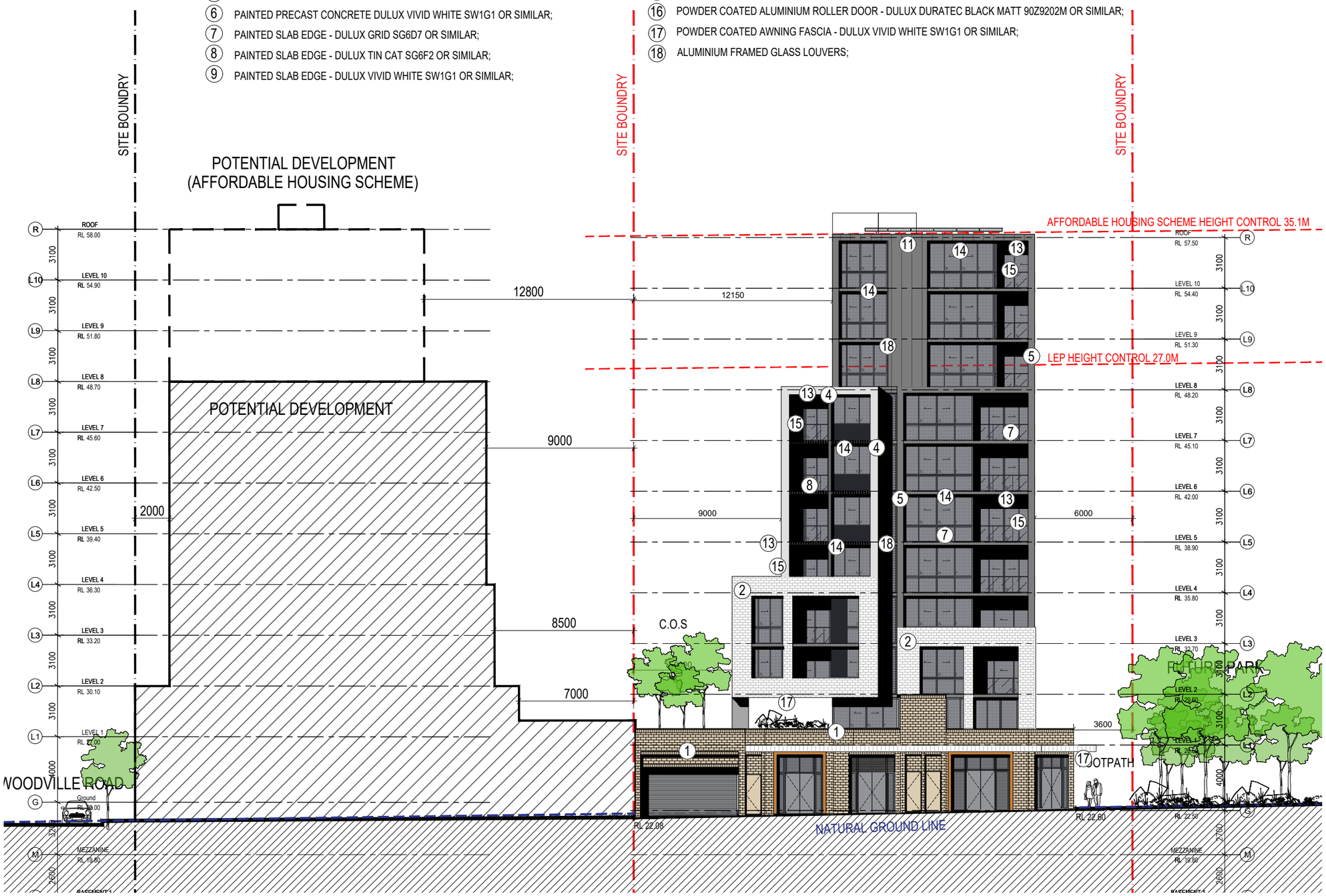

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

TONDM_A_ARUS @ CAD5

Notes

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Legend

DRAWING LABEL

NORTH ELEVATION-BUILDING A

Client

ABA PTY. LTD.

Architects

tony owen ptnrs
Level 1, 15-19 Queen Street, Mascot NSW 2020
T (02) 9667 2000
F (02) 9667 2001
E info@tonyowen.com

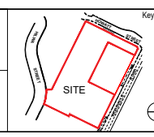
Project

WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address

896 Woodville Road, Villawood 2163 NSW

Key plan



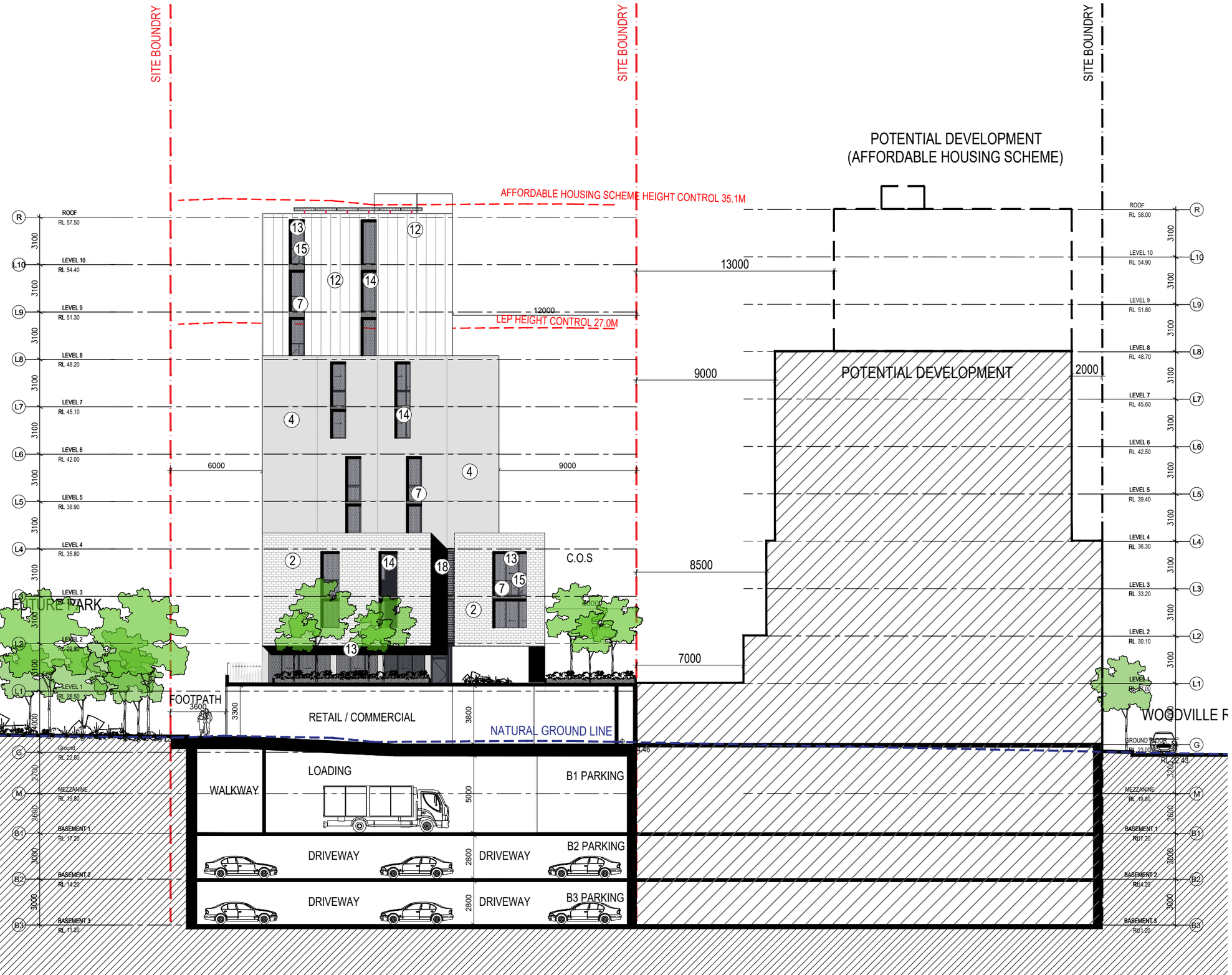
Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title: NORTH ELEVATION-BUILDING A

Project no. 1051 Drawing no. A204

Drawn ZS, CK

Drawing status: DA SUBMISSION



EXTERNAL FINISHES LEGEND

1. FACE BRICKWORK - AUSTRAL EVERYDAY LIFE RETREAT OR SIMILAR;
2. FACE BRICKWORK - AUSTRAL LA PALOMA MIRO OR SIMILAR;
3. FACE BRICKWORK - AUSTRAL BURLESQUE SUBLIME OR SIMILAR;
4. PAINTED PRECAST CONCRET - DULUX TIN CAT SG6F2 OR SIMILAR;
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17. POWDER COATED AWNING FASCIA - DULUX VIVID WHITE SW1G1 OR SIMILAR;
18. ALUMINIUM FRAMED GLASS LOUVERS;

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

TONYA_ALLPLAN @ A3OR

Notes

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Legend

DRAWING LABEL

SOUTH ELEVATION-BUILDING A

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2
15-19 Queen Street
Chippendale NSW 2008
T (02) 9698 3000
F (02) 9698 3010
info@tonyowen.com.au

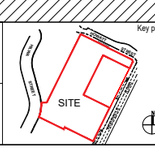
Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan



Scale 1:125 @ A1 1:250 @ A3 — Date NOV 2024

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Drawing title
SOUTH ELEVATION-BUILDING A

Project no. 1051 — Drawing no. A205

Drawn ZS, CK

Drawing status
DA SUBMISSION

Rev.	Description	By	Date
A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style: TONDA_ALLRUN.ctb @ DA(36)

Notes

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Legend

DRAWING LABEL

SECTION B-B

Client: ABA PTY. LTD.

Architects: tony owen ptnrs
Level 2, 15-17 Young Street, Neutral Bay NSW 2089
T (02) 9904 2522
F (02) 9904 2033
E info@tonyowen.com.au

Project: WOODVILLE ROAD SHOP TOP HOUSING DEVELOPMENT

Project address: 896 Woodville Road, Villawood 2163 NSW

Key plan: SITE

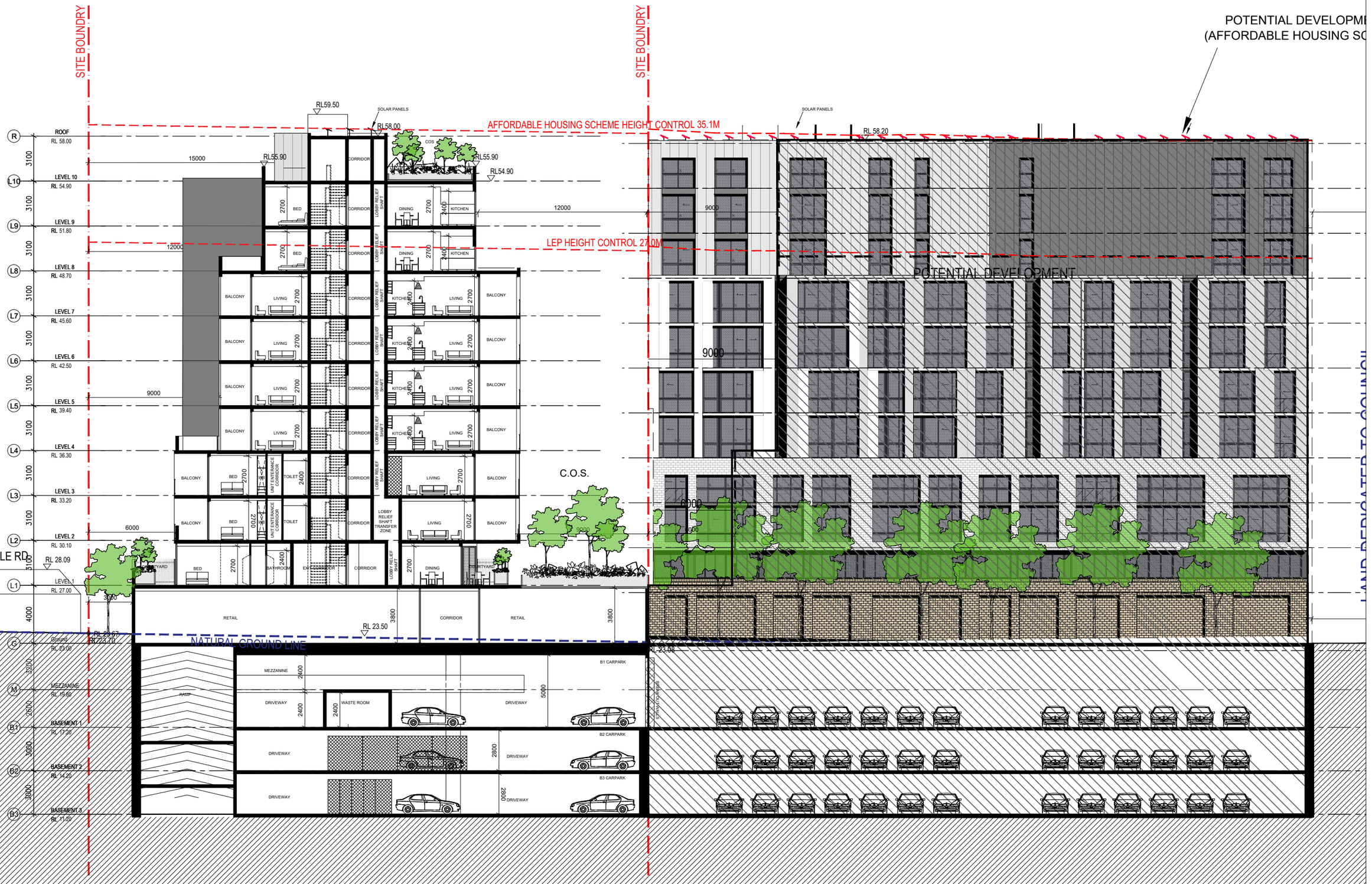
Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title: SECTION B-B

Project no. 1051 Drawing no. A302

Drawn ZS, CK

Drawing status: DA SUBMISSION



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Plot Style

TONDM_A4_BW.ctb @ CAC05

Notes

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Legend

DRAWING LABEL

SECTION C-C

Client

ABA PTY. LTD.

Architects

tony owen ptnrs

Level 2
15-18 Queen Street
Chippendale NSW 2008
P 0122 9660 3500
F 0122 9660 3518
E info@tonyowen.com.au

Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan

Scale 1:125 @ A1 1:250 @ A3 Date NOV 2024

Drawing title

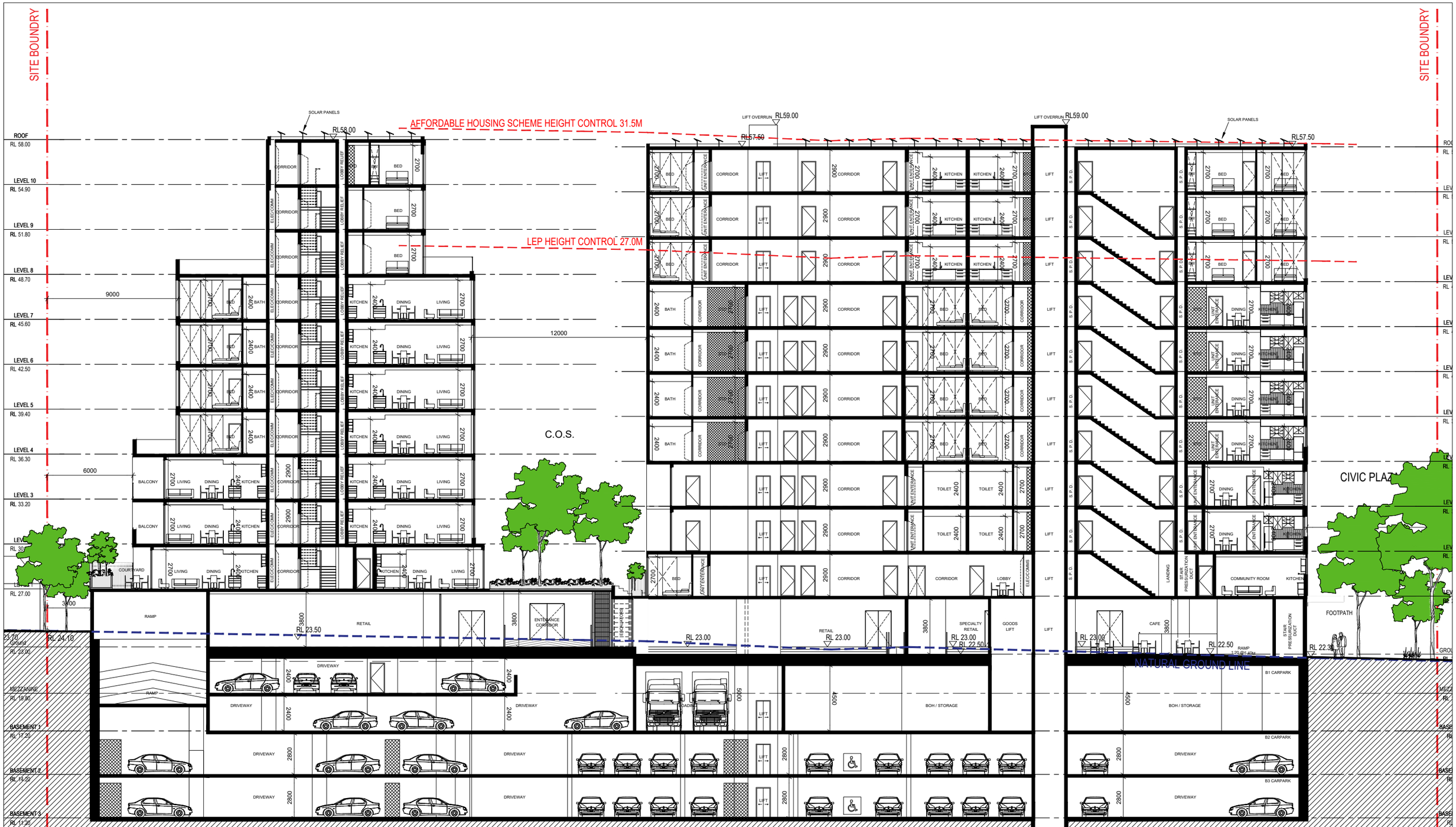
SECTION C-C

Project no. 1051 Drawing no. A303

Drawn ZS, CK

Drawing status

DA SUBMISSION



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A	ISSUE TO CONSULTANTS	DL VA	AUGUST 2024
B	ISSUE TO CONSULTANTS	DL ZS	OCTOBER 2024
C	ISSUE TO CLIENT	ZS CK	OCTOBER 2024
D	DA SUBMISSION	ZS CK	NOVEMBER 2024

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Plot Style

TONEN_A1_FULL.ctb @ DA235

Notes

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Legend

DRAWING LABEL

SECTION A-A

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Project

WOODVILLE ROAD
SHOP TOP HOUSING
DEVELOPMENT

Project address

896 Woodville Road, Villawood
2163 NSW

Key plan

Scale 1:25 @ A1 1:250 @ A3 Date NOV 2024

0 2.5 5 7.5 10 12.5

Drawing title
SECTION A-A

Project no. 1051 Drawing no. A301

Drawn ZS, CK

Drawing status
DA SUBMISSION

Annex B – NSW Police Checklist

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NSW POLICE 2018 (Updated November 2020)

Crime Prevention through Environmental Design Requirements

CPTED MEASURES	RECOMMENDATIONS	PLEASE NOTE * If this form is not completed correctly with an accompanying Safer By Design Report, the NSW Police will resubmit the application back to Council for completion.
ENGAGE SECURITY CONSULTANT	**With all developments it is advantageous to engage a Security Consultant with qualifications in Crime Prevention through Environmental Design (CPTED). This consultant will be qualified to compile a Safer by Design Report that is required by Police.**	**The measures that must be in the Safer By Design Report are listed in column 1.** **ALL DETAILS MUST BE COMPLETED AND PAGE AND PARAGRAPH REFERENCE ARE TO BE LISTED BELOW.**
1. STREET NUMBER / WAY FINDING SIGNAGE	1.1 The street number must be clearly visible from the street. 1.2 The street number must be visible at night. 1.3 Unit block identification signage must be visible from the street frontage.	1.1 Section 8.3.2, Annex A 1.2 Section 8.3.2, Annex A 1.3 Section 8.3.2, Annex A
2. SIGNAGE	2.1 There must be directional signage located at the entry to the estate/complex clearly indicating location of estate managers office, building names and unit numbers. 2.2 There must be appropriate warning signs displayed. 2.3 A map must be displayed of the complex.	2.1 Section 8.3.2, Annex A 2.2 Section 8.3.2, Annex A 2.3 Annex A
3. BUILDING DESIGN	3.1 The orientation of buildings must allow for easy natural surveillance between the street, neighbouring property and the buildings. 3.2 The floors, walls and ceilings must be of solid construction. 3.3 There must be adequate steps taken to ensure that persons cannot utilise the design of the premises to climb structures from the outside. 3.4 Entry/exit points to the estate and/ or buildings been limited. 3.5 At entry/exit points there must be electronic entry for example keypad or swipe card entry. 3.6 Alcoves or recesses must be monitored by CCTV. 3.7 Garbage bays must be locked to restrict unauthorised entry.	3.1 Section 8.1.2 3.2 Section 8.2.4, Section 8.4.2 3.3 Section 8.1.6, Annex A 3.4 Section 8.1.5, Annex A 3.5 Section 8.1.5, 8.2.2, Annex A 3.6 Section 8.1.1, Annex A 3.7 Section 8.2.2, Annex A

	3.8 There must be a 'Rapid Removal' policy for graffiti. 3.9 There must be graffiti resistant materials utilised in the design of the building. For example, painted on masonry garden walls, fencing.	3.8 Section 8.4.1, 8.4.3, Section 8.4.2, Annex A 3.9 Section 8.4.2
4. FENCES AND GATES	4.0 There must be perimeter fences erected around the property. 4.1 Access must not be restricted by large garbage bins or other objects. 4.2 Fences and gates must be fitted with locks. 4.3 Fences must be constructed of appropriate materials that cannot be cut through. 4.4 If the estate complex is a gated complex local Ambulance, Fire Brigade and Police must have keys/swipe cards etc for access in an emergency. Please explain safe or cylinder system to store keys/swipe cards. 	4.0 n/a. 4.1 Section 8.2.2 and 8.4.1. 4.2 n/a. 4.3 n/a. 4.4 Section 8.2.2
5. LANDSCAPING	5.0 People must be able to see your unit/premises clearly from the street. 5.1 Landscaping must be regularly maintained. Please explain maintenance plan in report. 5.2 No person should be able to conceal themselves behind vegetation or gardens.	5.0 Section 8.1.6, Annex A 5.1 Section 8.4.1 and 8.1.6 5.2 Section 8.1.6
6. SECURITY LIGHTING	6.0 Security lighting must be installed and operating. 6.1 The entry and exit points must be adequately lit. 6.2 Lighting must be positioned in a way to reduce opportunities for vandalism. 6.3 The lighting must be sufficient to support images obtained from CCTV footage. 6.4 Light switches for all lights must be located in a secure area within the premises. 6.5 There must be light timers.	6.0 Section 8.1.7, 8.4.1, Annex A 6.1 Section 8.1.5, Annex A 6.2 Section 8.1.7, Annex A. 6.3 Section 8.1.7, Annex A 6.4 Section 8.1.7, 8.2.2 6.5 Section 8.1.7, Annex A

7.	**POWER BOARD & LETTERBOX**	7.0 The power board must be enclosed in a cabinet or room. 7.1 The cabinet or room must be fitted with a lock set approved by the local authority. 7.2 The letter box must be fitted with an appropriate lock set and kept locked. ***This is a strongly recommended method on how to secure the letter box system in a unit complex*** 7.3 The letter box collection facility must be enclosed in the foyer window of the property or in a locked foyer with access for Australia Post via swipe card stored in Safe Cylinder Storage. Safe Storage Cylinder	7.0 8.2.2, Annex A 7.1 8.2.2, Annex A 7.2 8.2.2, Annex A 7.3 8.2.2, Annex A
8.	**BASEMENT CAR PARKING FACILITIES**	8.0 The garage facilities must be individual lockable garage facilities. 8.1 The garage 'tilta' door must have a bolt lock installed. 8.2 The garage facility must have floor to ceiling wall. For example, strong welded mesh or masonry walls. 8.3 The garage ceiling and walls must be painted white or a light-coloured concrete must be used. This will enhance the light in the basement. 8.4 The contents inside the garage facility must not be able to be visible from the outside. 8.5 The garage facilities must have CCTV coverage. 8.6 The garage facility area must be restricted to non-residents by way of security gates.	8.0 Section 8.2.2 8.1 Section 8.2.2 8.2 Section 8.2.2, Annex A 8.3 Annex A 8.4 Section 8.2.2 8.5 Section 8.1.4 8.6 Section 8.2.2

9. BALCONY	9.0 The balcony must be designed so as not to act as a natural ladder. 9.1 The balcony must be adequately designed so as not to allow hand and foot holds to potential offenders trying to scale up the outside of the building. 9.2 The railings must be designed so that foot or hand grips cannot be used by offenders. 9.3 The balcony must have a sensor light to automatically activate when motion is detected. 9.4 Sliding doors and windows adjacent to balconies must be re-enforced with adequate locks etc to restrict unauthorised access.	9.0 Section 8.2.3, Annex A 9.1 Section 8.2.3 9.2 Section 8.2.3 9.3 Section 8.1.8, Annex A 9.4 Section 8.2.3
10. DOORS AND FIRE EXITS	10.0 The external doors and frames must be of solid construction. 10.1 The doors must be fitted with quality lock sets to restrict access when not in use. 10.2 The locks must be in good working order. 10.3 A peep hole (door viewer) must be installed. 10.4 An Australian standard security/screen door must be installed on the front door or any glass sliding doors. 10.5 Sliding Security balcony screen doors are recommended form ground to 3rd Floor unit complexes. 10.6 Balconies are to be designed with anti-climb features. 10.7 Sliding doors must be fitted with a suitable lock set. 10.8 Entry/exit points must be clearly identified by signage. 10.9 All fire exit doors must be self-closing. 10.10 All external door hinges must be mounted so they cannot be removed.	10.Section 8.2.3. 10.1 Section 8.2.3 10.2 Section 8.4.1 10.3 Section 8.2.3 10.4 n/a. 10.5 Section 8.2.3 10.6 Section 8.2.3, Annex A. 10.7 Section 8.2.3 10.8 Annex A 10.9 Section 8.2.2 10.10 Section 8.2.3.
11. WINDOWS	11.0 All external windows must be solidly constructed. 11.1 All windows must be fitted with quality lock sets. 11.2 All unused windows must be permanently closed & secured. 11.3 Windows must be able to be locked in a partially open position. For example, with a bolt lock. 11.4 Skylights must be suitably secured.	11.0 Section 8.2.4 11.1 Section 8.2.4 11.2 Section 8.2.4 11.3 n/a 11.4 Section 8.2.4

12. CARPARKING FACILITIES AT GRADE AND BASEMENT LEVEL	12.1	There must be security car parking facilities available at grade level and basement level.	12.1 Annex A
	12.2	The access to residential car park must be restricted to residents only. This must be done by roller shutter or boom gate at grade level car parks. Keypad, swipe card or remote systems must be used.	12.2 Section 8.2.2
	12.3	'Park Smarter' signage must be displayed within this area to warn motorists to secure their vehicle and property.	12.3 Annex A.
	12.4	CCTV system must be installed and monitor inside all car park facilities.	12.4 Annex A, Section 8.2.2
	12.5	All residents must be supplied with additional storage facilities so that items are not left in areas where they can be seen or easily removed.	12.5 Section 8.2.2
	12.6	The car park must be well lit.	12.6 Annex A, Section 8.1.7
	12.7	The ceiling of the car park must be painted white.	12.7 Car park will use light colours and appropriate motion-activated lighting will ensure adequate illumination. Annex A
	12.8	Bicycle racks must be positioned in visible areas from the street.	12.8 n/a
	12.9	Emergency Services parking should be provided in a large unit complex.	12.9 Section 8.1.3
13. SURVEILLANCE SYSTEM	13.0	CCTV systems must be installed at vehicle entry points.	13.0 Annex A
	13.1	CCTV systems must be installed at all foyer entry points.	13.1 Annex A
	13.2	CCTV systems must be installed on the perimeter of the building.	13.2 Annex A
	13.3	CCTV systems must be installed near to letter box collection facilities.	13.3 Annex A
	13.4	CCTV systems must be installed near to waste facilities.	13.4 Annex A
	13.5	CCTV systems must be installed near to fire exits.	13.5 Annex A
	13.6	Footage must be recorded appropriately.	13.6 Annex A
	13.7	Footage must be kept for a minimum of 14 days.	13.7 Section 8.2.2
	13.8	The property must be free of dummy cameras.	13.8 Section 8.2.2
	13.9	The cameras must be placed in suitable locations to positively identify an individual from recorded images.	13.9 Annex A

14. FIRE SAFETY	14.1 Smoke detectors must be installed within foyer areas, garages and in the unit complex to comply with the Building Code of Australia? 14.2 Gutters must be kept clean. 14.3 The unit complex must have a site plan displayed in a prominent position. 14.4 Waste bins must be stored in a secure place after hours.	14.1 Action for BCA Consultant and/or Fire Safety Engineer 14.2 8.4.1 14.3 Annex A 14.4 Annex A, 8.2.2
15. CONSTRUCTION STAGE	15.1 During Construction Stage all tools and building materials must be stored in strong rooms with tamper proof security systems. 15.2 Construction sites should be fenced with appropriate security fencing. 15.3 Security Guards should be used during high risk times. 15.4 CCTV should be used during construction stage. 15.5 Lighting should be installed on the grounds of the construction site. 15.6 Lighting should be installed near to containers/storage facilities.	15.1 Action for Project Team 15.2 Action for Project Team 15.3 Action for Project Team 15.4 Action for Project Team 15.5 Action for Project Team 15.6 Action for Project Team
16. ROOF TOP	16.1 The retaining walls/fencing/ barriers adequate to prevent accidental falls/ slips/suicide attempts. 16.2 There must be protocols in place to monitor and regulate the times in which the roof common areas can be used by residents (to minimise noise and antisocial issues). 16.3 CCTV should be installed in these areas.	16.1 Annex A. 16.2 Annex A. 16.3 Annex A.
17. EMERGENCY MANAGEMENT	17.1 An Emergency Management/ Evacuation Plan must be developed for the building prior to occupation and forwarded to local Police Area Commands.	17.1 Action for Project Team.
18. NSW POLICE INSPECTION PRIOR TO OCCUPATION STAGE.	18.1 Police recommend that there must be an inspection with a Town Planner and the Building Manager prior to Occupancy Certificate Stage.	18.1 Action for Project Team.

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- It is not possible to make areas evaluated by NSW Police Force absolutely safe for the community and their property.
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